



## AGENDA

HAYDEN PLANNING COMMISSION

THURSDAY, DECEMBER 11<sup>th</sup>, 2025

6:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/89548614591>

Meeting ID: 895 4861 4591

HAYDEN TOWN HALL – 178 WEST JEFFERSON AVENUE, HAYDEN

### REGULAR MEETING

1. CALL TO ORDER, MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. CONSIDERATION OF MINUTES
  - a. Review and Consider Approval of November 13<sup>th</sup>, 2025 Planning Commission Minutes.
  - b. Review, amend, and approve of July 25<sup>th</sup>, 2024 Planning Commission Minutes
  - c. Review, amend, and approve of June 13<sup>th</sup>, 2024 Planning Commission Minutes
4. Uplift Apartments Major Site Plan – 739 East Jefferson, Hayden, CO 81639
  - a. Public Hearing: Major Site Plan application for 12-unit apartment complex to be located on 739 East Jefferson, Hayden, CO 81639
  - b. Review and Consideration of the Major Site Plan application for 12-unit apartment complex to be located on 739 East Jefferson, Hayden, CO 81639
5. PUBLIC COMMENTS
6. STAFF UPDATES
7. ADJOURNMENT

*NOTICE: Agenda is subject to change up to 24 hours before scheduled meeting. If you require special assistance in order to attend any of the Town's public meetings or events, please notify the Town of Hayden at (970) 276-3741 at least 48 hours in advance of the scheduled event so the necessary arrangements can be made.*

The regular meeting of the Hayden Planning Commission was called to order by Chair Williams at 6:00 p.m. Also, in attendance were Commissioner David "Mo" Demorat, Commissioner Ben Robbins, Commissioner Cooke and Alternate Commissioner Berning, Town Deputy Manager Tegan Ebbert, Town Manager Mathew Mendisco, and Project Manager Kevin Corona

**Pledge of Allegiance**

**Chair Williams** led the Pledge of Allegiance.

**Approval of the Minutes**

Chair Williams made a motion to approve the Planning Commission meeting minutes from October 13<sup>th</sup>, 2025, the motion was approved unanimously.

**Yampa Valley Regional  
Airport Terminal Expansion  
Major Site Plan , 11005 RCR  
51A, Hayden, CO 81639**

Yampa Valley Regional Airport Director Tinneal Gerber was present for the meeting. The applicant, Yampa Valley Regional Airport, has submitted a Major Site Plan application under the Hayden Development Code (HDC). The proposal includes a significant expansion and reconfiguration of the airport's terminal building, improvements to the commercial apron, modifications to short-term vehicle parking and curbside areas, construction of a relocated GSE storage facility, demolition of Hangar 1 and Hangar 2, and relocation of the fuel truck access road. The subject property lies within the Airport Overlay District, where airport operations and associated facilities are permitted as a use by right.

The applicant provided the Planning Commission with an overview of the project, including background context, design influences, proposed plans and renderings, and the anticipated schedule for this phase of development.

**Ty Johnson**, the Town of Hayden's contract planner with Mesa Planning, provided an overview of the Yampa Valley Regional Airport's Major Site Plan application. He explained that the airport is seeking approval to expand and reconfigure several key components of its operations, including the terminal building, commercial apron, short-term parking areas, and curbside layout. The proposal also includes constructing a new location for GSE storage, demolishing Hangar 1 and Hangar 2, and relocating the fuel truck access road. Ty noted that the

property lies within the Airport Overlay District, where airport-related uses and supporting facilities are permitted by right.

Ty then walked the Commission through the project's compliance with the Town of Hayden Development Code (HDC). Although the HDC contains a wide range of land-use regulations, staff focused on the specific standards most applicable to this proposal. Ty described how the application was evaluated using a detailed checklist to confirm that each element of the project meets the required criteria for approval. He encouraged anyone interested in the broader regulatory context to review the full HDC for additional applicable standards.

#### Public Comments

Chair Williams opened the public comment period at 6:31PM.

**Ron Harrison** 10010 RCR 37D, gave a public comment asking if there will any plans to create gates closer to center of the runway and how the lighting would be affected. He mentioned the noise is not a problem at the moment. However, his main concern was the cost of additional lighting.

Chair Williams closed public comment at 6:38 PM

**Roundtable**

The applicant mentioned lighting within the runway will not change and assured that the runway will remain as is.

Alternate Commissioner Berning asked additional questions regarding the airport's snow removal plan. The applicant provided an explanation of their approach, noting that effective snow management will be essential given the site's location.

Commissioner Robbins reiterated that the proposal appears to focus on expanding and improving terminal operations for efficiency, rather than increasing overall density. The applicant confirmed this understanding.

Commissioner Demorat asked further questions about the construction schedule, anticipated work hours, and potential impacts related to noise and lighting. Keith Meyer, with Town Scape Advisors, confirmed that the standard construction hours outlined in their contract are 7:00 AM to 6:00 PM, Monday through Friday.

**Motion**

The motion to approve was initiated by Commissioner Robbins Subject to the following conditions of approval:

1. Prior to construction, applicant shall submit construction drawings to the Town for review and approval including a utility service plan stamped by a professional engineer and an exhibit showing easement dedication for all water and sewer mains located on the airport grounds.



2. Prior to approval of construction drawings, issuance of any required Colorado Department of Transportation access permits shall be complete.
3. Prior to CO/CA, all public water mains and sewer mains will be placed within dedicated easements by separate utility easement dedication instrument.
4. Prior to CO/CA, any improvements associated with access permit requirements shall be complete, inspected, and approved by Colorado Department of Transportation

The motion was seconded by Commissioner DeMorat, the motion was approved unanimously

**Staff Reports**

Deputy Town Manager, Ebbert Provided details on upcoming planning commission date of 11/25/2025 (Tuesday). This meeting was moved due to the Thanksgiving holiday

**Adjournment**

Meeting was Adjourned at 6:44PM

Recorded by:

\_\_\_\_\_  
Kevin Corona

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025

\_\_\_\_\_  
Amy J. Williams, Chair

The regular meeting of the Hayden Planning Commission was called to order by Vice Chair Michele Lewis at 6:00 p.m. Other members present were Chair Amy Williams, Vice Chair Michelle Lewis, Commissioner Carly Kelly, and Commissioner Charlie Cook; Community Development Director Tegan Ebbert, Project Manager Kevin Corona, and applicants Kona Ward and Jesus "Chey" Garcia were also present.

**Pledge of Allegiance**

**Chair Williams** led the Pledge of Allegiance.

**Approval of the Minutes**

Commissioner Kelly moved to approve the Planning Commission meeting minutes from June 13, 2024, Commissioner Lewis seconded; the motion was approved unanimously.

**KW CG Work/Live Development – Lot 6, Valley View Business Park- Public Hearing**

Mr. Ward and Mr. Garcia, along with Ellen Slobodnik from Yampa Valley Engineering, discussed the proposed work/live development. Their aim is to address two key issues, providing spaces for small businesses like the ones that they own and retaining their workforce by providing some employee housing. The development is designed to create a thriving environment for their businesses and offer a solution for other entrepreneurs looking to occupy a dedicated space for their business.

Mr. Ward operates a construction services company, while Mr. Garcia owns Garcia Construction, Routt Electric, and a roofing company. Both are in need of space, as current prices in Steamboat are prohibitive for small businesses. Their proposed development includes parking, garage space, and storage to help organize and streamline their operations. The applicants anticipate occupying several of the units and perhaps selling off a few in the future.

Ellen from Yampa Valley Engineering continued the presentation with a walkthrough of the proposed design. The plan features a wrap-around stone façade and a canopied entrance. The owner of Lot 6 in Valley View Business Park is proposing to construct a work/live development on the approximately 0.53-acre site. Zoned Light Industrial (I-1 Zone District), the vacant site is situated directly north of the Valley View Live/Work Condominiums.

Ms. Ebbert added that the proposal includes one building with eight work/live units. Two of these units are ADA-compliant studio apartments (Type A), while four are two-story units featuring a garage, workshop, and a two-bedroom, two-bath dwelling. The remaining two units will offer a compact 158-square-foot office/workshop space with a two-bedroom, two-bath living area above. The applicant may also pursue a condominium plat in the future, allowing for individual ownership of the units.

**Motion**

Commissioner Kelly moved to approve KW CG Work/Live Development – Lot 6, Valley View Business Park with the following findings of fact and conditions of approval.

Findings of fact:

1. The proposed conditional use is consistent with the Hayden Forward Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations.
2. The proposed conditional use is consistent with the purpose and intent of the I-1: Light Industrial zone district and any applicable use-specific standards in the Development Code.
3. The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics.
4. The proposed conditional use will not substantially alter the basic character of the I-1: Light Industrial zone district or jeopardize the development or redevelopment potential of the I-1: Light Industrial zone district.
5. The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.
6. Any significant adverse impacts anticipated to result from the conditional use have been or will be mitigated or offset to the maximum extent practicable.
7. Facilities and services are or will be available to serve the subject property while maintaining adequate levels of service for existing development.
8. Adequate assurances of continuing maintenance have been provided.
9. The proposed conditional use meets all the applicable standards in Chapter 10.24 Development Standards.

Subject to the following conditions of approval:

1. The conditional use permit shall be authorized and approved by a resolution approved by the Town Council.

2. The effective date of this approval is the date upon which the Town Council approves the application. The approval shall expire two (2) years from its effective date, unless application for renewal of the Site Plan approval is approved pursuant to Section 10.16.020, Hayden Development Code (HDC).

3. All exterior lighting must be downcast and opaquely shielded and in compliance with section 10.24.210 HDC.

4. One striped exterior ADA compliance parking stall shall be required on an amended site plan. Installation of this parking space shall be required prior to the issuance of a Certificate of Occupancy (temporary or permanent).

5. An amended landscaping plans that include two (2) additional trees and one (1) additional shrub shall be submitted to staff for administrative approval prior to the issuance of the building permit.

6. The property owner is responsible for designation and/or assignment of parking spaces within the development.

7. The driveways and parking areas must be paved and striped prior to the issuance of a Certificate of Occupancy/Approval.

8. All rental leases shall include the following disclosure "This property is zoned Light Industrial and therefore noise, traffic, and activities associated with light industrial and commercial activities shall be expected in the vicinity of these units."

9. The fee in lieu of School Site Dedication shall be conveyed to the Town prior to issuance of a Certificate of Occupancy in compliance with section 10.24.140 and 10.24.150 HDC.

Commissioner Cooke seconded and the decision was approved unanimously.

#### Staff Reports

Ms. Ebbert provided an update to the Planning Commission on several ongoing projects. Among these is the comprehensive five-part Resiliency Plan, which aims to address key areas including: updating and revitalizing the land use code, enhancing the capital improvement plan and infrastructure, promoting environmental and financial resilience, and advancing community wellness. This initiative represents a continued focus for the Town Council to support and improve the welfare of the Hayden community. Ms. Ebbert also noted that there will be upcoming community outreach events designed to foster transparent communication with residents. These events will provide an opportunity for community



Regular Meeting \_\_\_\_\_ Hayden Planning Commission \_\_\_\_\_ July 26<sup>th</sup>, 2024

members to share their opinions and engage directly with the planning process as the Development Code is rewritten.

**Adjournment**

The meeting was adjourned at 6:50PM

Recorded by:

\_\_\_\_\_  
Kevin Corona

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

\_\_\_\_\_  
Amy J. Williams, Chair

The regular meeting of the Hayden Planning Commission was called to order by Chair Amy Williams at 6:00 p.m. Other members present were Vice Chair Lewis and Commissioner David DeMorat. Community Development Director Tegan Ebbert, Applicant Scott Carlson, and Applicant's Representative Kieran O'Halloran, of Amplify Architecture, were also present.

**Pledge of Allegiance**

**Chair Williams** led the Pledge of Allegiance.

**Approval of the Minutes**

Vice Chair Lewis moved to approve the Planning Commission meeting minutes from April 11, 2024, Commissioner DeMorat seconded; the motion was approved unanimously.

**Carlson's Corner Live/Work Development – Lots 14, 15 & 16., Valley View Business Park**

Mr. Carlson described the proposed project and his motivation for pursuing it. He has been a business owner for many years in the valley but has never had a dedicated shop/location for his business. He, like many trades people and construction businesses struggle to find space for their businesses and he wants to create opportunity for businesses similar to his own.

Mr. O'Halloran discussed designing a development that fits within the character of the existing business park and is serving to the types of businesses that seem to be growing in Hayden.

Ms. Ebbert noted that the property consists of three lots that will be consolidated into one singular parcel containing just over one acre. The proposal is to construct three (3) buildings across the property, each building will contain four (4) live/work units. The units are being designed to that the live component and work component can be leases to separate occupants or the same occupants. This is being achieved by complying with a more stringent building code designation that maintains greater fire separations, separate access points, and a commercial building standard versus residential. The applicant intends on using some of the residential units for his employees to occupy, the remainder will continue to be under his ownership and leased to the public. The businesses that will occupy the development are unknown at this point however they are anticipated to be light industrial or commercial as is permissible in the Light Industrial (I-1) Zone District.

Commissioner DeMorat questioned if there will be hours of operation on the "work" component of the development as he has concerns about the work activities disrupting the residential occupants. Ms. Ebbert noted that currently the Town does not have a robust nuisance ordinance on the books however staff are actively working to create one. It will likely include a noise ordinance for certain hours and activities based on zone districts. Additionally, a recommended condition of approval is included require a

notice of the zoning designation of the property to be located within any residential lease. In addition to the "work" units on this site, the property is surrounded with existing light industrial businesses. This recommendation is a mitigation effort associated with recommended Finding of Fact #6. The overall desire for this property is that it supports community members who own their own business and/or supports the other businesses in Valley View Business Park and Hayden by housing the workforce needed for them to operate. Chair Williams commented that the primary use of this property is for light industrial and commercial activity with the residential component as a secondary, supporting use so she doesn't want to limit the commercial activity to a degree that make it infeasible for businesses to operate.

Chair Williams asked about vehicle circulation onsite. Mr. Carlson indicated that he designed the ingress/egress to allow for a semi to drive through the site.

Ms. Ebbert noted that one concern about live/work units is that sometimes they revert to strictly residential use which isn't particularly compatible with other uses and activities in the Light Industrial Zone District. Additionally, the subdivision lacks sidewalks, parks, and other features that residential developments typically have. One appealing feature of the "live" and "work" units being separately leasable is that the "work" area will not be simply included in a residential lease therefore, if someone doesn't have a genuine use for a commercial shop they would be deterred from renting it to use it residentially. One of the goals of the Hayden Forward Master Plan is to encourage business establishment and growth and staff view this as a creative approach to ensuring that industrial and commercial space is being used for those reasons versus reverting to residential occupancy.

Ms. Ebbert discussed the findings of fact that are consistent with the review criteria for a Conditional Use Permit and the recommended conditions of approval.

#### Motion

Commissioner Lewis moved to recommend approval of the Carlson's Corner live/work development Conditional Use Permit with the following findings of fact and conditions:

Findings of fact:

1. The proposed conditional use is consistent with the Hayden Forward Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations.

2. The proposed conditional use is consistent with the purpose and intent of the I-1: Light Industrial zone district and any applicable use-specific standards in the Development Code.
3. The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics.
4. The proposed conditional use will not substantially alter the basic character of the I-1: Light Industrial zone district or jeopardize the development or redevelopment potential of the I-1: Light Industrial zone district.
5. The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.
6. Any significant adverse impacts anticipated to result from the conditional use have been or will be mitigated or offset to the maximum extent practicable.
7. Facilities and services are or will be available to serve the subject property while maintaining adequate levels of service for existing development.
8. Adequate assurances of continuing maintenance have been provided.
9. The proposed conditional use meets all the applicable standards in Chapter 10.24 Development Standards.

**Subject to the following conditions of approval:**

1. The conditional use permit shall be authorized and approved by a resolution approved by the Town Council.
2. The effective date of this approval is the date upon which the Planning Commission approves the application. The approval shall expire two (2) years from its effective date, unless application for renewal of the Site Plan approval is approved pursuant to Section 10.16.020, Hayden Development Code (HDC).
3. All exterior lighting must be downcast and opaquely shielded and in compliance with section 10.24.210 HDC.



4. Updated landscaping plans that include four (4) additional trees shall be submitted to staff for administrative approval prior to the issuance of the building permit.
  5. The property owner is responsible for designation and/or assignment of parking spaces within the development.
  6. The driveways and parking areas must be paved and striped prior to the issuance of a Certificate of Occupancy/Approval.
  7. All residential rental leases shall include the following disclosure "This property is zoned Light Industrial and therefore noise, traffic, and activities associated with light industrial and commercial activities shall be expected in the vicinity of these units."
  8. The fee in lieu of School Site Dedication shall be conveyed to the Town prior to issuance of a Certificate of Occupancy in compliance with section 10.24.140 and 10.24.150 HDC.
  9. Rental restriction agreement for the Community Housing unit shall be executed prior to issuance of a Certificate of Occupancy in compliance with section 10.24.290 HDC.
- Commissioner DeMorat seconded and the motion was approved unanimously.

**Staff Reports**

Ms. Ebbert updated the planning commission on ongoing projects. Funding was granted to work embark on a Development Code rewrite and a new contract planner has been hired.

**Adjournment**

The meeting was adjourned at 6:50PM

Recorded by:

\_\_\_\_\_  
Tegan Ebbert

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

\_\_\_\_\_  
Amy J. Williams, Chair



## **Town of Hayden**

### **Planning Commission Agenda Item**

<b>MEETING DATE:</b>	December 11, 2025
<b>AGENDA ITEM TITLE:</b>	Uplift Apartments Major Site Plan
<b>AGENDA SECTION:</b>	New Business
<b>PRESENTED BY:</b>	Ty Johnson, Contract Planner
<b>APPLICANT(S):</b>	Four Points Surveying and Engineering
<b>CAN THIS ITEM BE RESCHEDULED:</b>	Not recommended.
<b>ATTACHMENTS:</b>	Engineering Comments, Project Narrative, Civil Plan Set, Building Elevations, Lighting Plan, Fire Dept. Comments

### **BACKGROUND REVIEW:**

The applicant, Four Points Surveying and Engineering, has applied for a Major Site Plan (application) on behalf of the owner, Uplift Development, LLC, under Hayden's Development Code (HDC). The application requests to develop 739 East Jefferson Avenue into a 12-unit apartment complex. The Project consists of eight one-bedroom and four two-bedroom apartment units and all associated infrastructure and amenities, including access, parking, sidewalks, dumpster pad and enclosure, wet and dry utilities, open space areas, drainage infrastructure, stormwater best management practices, and landscaping. The subject property is zoned Commercial and multi-family dwellings are a use-by-right in the Commercial zone district.

### **COMPLIANCE WITH THE TOWN OF HAYDEN DEVELOPMENT CODE**

While the HDC contains numerous regulations regarding land use, staff has analyzed the following checklist to highlight the regulations directly applicable to this application and how it meets the standards for approval. Interested parties are encouraged to review the HDC to determine if there are other regulations that may be applicable to the review of this Application.

## Chapter 10.16 – Development Review Procedures

### Section 10.16.020 – General Procedures and Requirements.

Complies Yes                      No		Section	Standards
		10.16.020(d)	<b>Step 4: Application Processing</b>
X		10.16.020(d)(1)	<b>Determination of Completeness.</b> A development application shall be reviewed for completeness by the manager within ten business days after receipt
X		10.16.020(d)(2)	<b>Referral to Other Agencies.</b> Development applications may be referred to other agencies for review and comment. <i>Staff comment: A referral was made internally to Town review agencies and to Routt Co. Building, West Routt Fire, CDOT, CPW, Yampa Valley Regional Airport, Routt Co. Public Works, Routt Co. Planning, Hayden PD, and Hayden School District. Multiple rounds of review were processed for this application, as the applicant had a few site plan iterations to address initial comments from the Planning Department and Fire Department. Comments from the Town Engineer and CDOT have been attached and conditions of approval have been recommended to address those outstanding comments. This standard has been met.</i>
X		10.16.020(e)	<b>Step 4: Notice.</b> Notice shall be required for all public hearings conducted by the Planning Commission and Council. <i>Staff comment: All public notice requirements have been completed. Therefore, this standard is met</i>
X		10.16.020(f)	<b>Step 5: Public Hearings.</b> The Manager shall schedule a public hearing date before the Planning Commission and/or Council after a complete application has been received, Town staff has completed Town staff review, and referral agencies have had an opportunity to provide comments. <i>Staff comment: The public hearing has been scheduled with the Planning Commission on December 11, 2025; therefore, this standard has been met.</i>
		10.16.020(g)	<b>Step 6: Review and Decision</b>
X		10.16.020(g)(3)	<b>Findings.</b> The reviewing authority shall adopt written findings which document that a recommendation or decision is based upon a determination of whether the development application complies with the applicable review criteria. The written findings shall state the conditions or mitigation. <i>Staff comment: Recommended</i>

*findings of fact are included below for the Planning Commission's consideration.*

#### Section 10.20.120 – C Commercial District

Complies		Section	Standards
Yes	No		
✓		10.20.110	<p><b>Intent.</b> The intent of this district is to promote and provide a variety of commercial, business and residential uses heading into the historic downtown core area. These include space for professionals and tradespeople specializing in the built environment, live-work opportunities couples with elements needed for trades such as indoor and outdoor storage space, trailer/large vehicle equipment parking, and offices. Warehouses, commercial sales, construction supplies and offerings are encouraged so as to promote the Town as a center for trades commerce. Commercial areas at the gateways to Town along Jefferson Avenue/US Highway 40 should create a cohesive transition between residential and commercial properties, and use combined access points, architectural design consistent with Hayden's character (1 to 2.5 story), pedestrian and bicycle access and minimized parking visibility along the Jefferson Avenue/US Highway 40 frontage.; <u>Staff comment:</u> <i>The proposed development consists of a 12-unit apartment complex within the downtown core, which is consistent with the intent of the Commercial zone district.</i></p> <p><i>This standard is met</i></p>
✓		10.20.170	<p><b>Principal Uses.</b> Dwelling, multi-family, up to twenty four (24) units per building are a use-by-right in the Commercial zone district.</p> <p><u>Staff Comment:</u> <i>The proposed use of a 12-unit apartment complex is a use-by-right in the Commercial zone district.</i></p> <p><i>This standard is met.</i></p>

#### Section 10.24 – Development and Dimensional Standards

Complies		Section	Standards
Yes	No		
✓		Table 10.24-1	<b>Dimensional Standards.</b> C Commercial District.

There are no minimum setback requirements in the Commercial zone district. There is a maximum height of 3.5 stories or 35 feet.

*Staff comment: The elevations submitted show the height of the building at 33' 2 1/4 ", which meets the standards for the Commercial zone district.*

*This standard is met*

## Section 10.24.100 – Parking

Complies		Section	Standards
Yes	No		
✓		10.24.100(c)	<p><b>Paved off-street parking requirements.</b> Apartment dwelling units require 1 parking space per bedroom, up to 2 per unit.</p> <p><i>Staff comment: The proposed apartment building contains 8 one-bedroom units and 4 two-bedroom units, which requires 16 off-street parking spaces. The site plan provides 16 off-street parking spaces. The parking lot is required to have one ADA parking space, which is required to be van accessible which has been provided</i></p> <p><i>This standard is met</i></p>
✓		10.24.100(b)(1)	<p><b>Surface.</b> All parking and driveway areas and primary access to parking facilities shall be surfaced with asphalt, concrete or similar materials. <i>Staff comment: All parking areas are paved with asphalt or concrete.</i></p> <p><i>This standard is met</i></p>
✓		10.24.100(b)(4)	<p><b>Landscaping.</b> Parking lots shall be landscaped, screened and buffered as provided in this Chapter. <i>Staff comment: The landscape plan submitted has made an effort to screen and buffer the proposed parking lots. Additionally, the application meets the landscaping requirements including parking lot islands.</i></p> <p><i>This standard is met</i></p>
✓		10.24.100(b)(6)	<p><b>Off-street parking design.</b> Any off-street parking area shall be designed so that vehicles may exit without backing onto a public street unless no other practical alternative is available. Off- street parking areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks or strike against or damage any wall, vegetation, utility or other structure. <i>Staff comment: The site plan submitted has the parking designed so that no backing onto right-of-way occurs. There is also no encroaching of parked vehicles onto the ROW.</i></p>

*This standard is met*

✓

- 10.24.100(b)(9) Lighting.** All parking area lighting shall be full cutoff type fixtures. Any light used to illuminate parking areas or for any other purpose shall be so arranged as to reflect the light away from nearby residential properties, and away from the vision of passing motorists. Staff comment: *The applicant has submitted cut sheets of light fixtures that demonstrates that they are fully cutoff to prevent uplighting. The light poles also comply with height requirements of 16'.*

*This standard is met*

✓

- 10.24.100(h) Bicycle Parking Spaces.** Commercial, industrial, civic, employment, multi-family and recreational uses shall provide bicycle facilities to meet the following standards:

- (1) A minimum number of bicycle parking spaces shall be provided, equal in number to two (2) percent of the total number of automobile parking spaces provided by the development, but not less than one (1) space.
- (2) For convenience and security, bicycle parking facilities shall be located near building entrances. Within commercial areas, however, a grouping of spaces shall be provided as directed by the Town.
- (3) Bicycle parking facilities shall be designed to allow the bicycle frame and both wheels to be securely locked to a structure, which is permanently attached to the pavement.
- (4) Bicycle parking facilities shall be located so as not to interfere with pedestrian traffic or access to buildings.

Staff comment: *The applicant has provided 2 bicycle parking spaces near the building entrance and the sidewalk.*

*This standard is met*

#### Section 10.24.140 – Contribution for Public School Site

Complies		Section	Standards
Yes	No		
		10.24.150(b)	<p><b>Fee-in-lieu of Dedication.</b> If there is not sufficient property on the plat, or within the development, to provide land for the entire school or park facility required, with the approval of the Council, the developer may, in lieu of dedication of all or part of the land requirements, pay fees in lieu of the equivalent land areas which would have been dedicated to public facilities. Fees are to be calculated in the following manner:</p> <p><i>Staff comment: The applicant will be required to provide a fee-in-lieu of land dedication for a school site. This has been placed as a condition of approval.</i></p>

*This standard can be met*

#### Section 10.24.160 – Landscape Design

Complies		Section	Standards
Yes	No		
✓		10.24.160(c)(2)(i)	<p><b>Business/Commercial development landscaping standards.</b> Landscape improvements within the CBD and C zone districts shall be designed to enhance the overall appearance of the development and to integrate the project with adjacent land uses and into the surrounding neighborhood. A minimum of fifteen (15) percent of the site (gross) shall be landscaped area.</p> <p><i>Staff comment: The applicant has proposed 18% of the site to be landscaped which exceeds the requirement of 15%</i></p>

*This standard is met*

✓		10.24.100(c)(3)(ii)	<p><b>The developer or assigns shall provide:</b></p> <p>(A) Site trees – plant a minimum of one (1) tree per one thousand five hundred (1,000) square feet of landscaped area, distributed on the site.</p> <p>(B) Shrubs – plant a minimum of one (1) shrub per one hundred fifty (150) square feet of landscaped area. Group shrubs and distribute throughout the site. Trees may be substituted for up to one-half (1/2) of the required shrubs at the rate of one (1) tree for six (6) shrubs.</p> <p><i>Staff comment: The applicant has 2,300 square feet of</i></p>
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*landscaped area which requires 3 trees and 15 shrubs. The development proposes 15 trees and 10 shrubs, which meets the requirements, as they are able to substitute additional trees for the required shrubs.*

*This standard is met*

#### Section 10.24.170 – Buffering and Screening Techniques

Complies		Section	Standards
Yes	No		
✓		10.24.170(d)(1)&(2)	<p><b>Dumpsters</b></p> <p>(1) Every development that is required to provide one or more dumpsters for solid waste collection shall provide sites for such dumpsters that are:</p> <p>(i) Located to facilitate collection and minimize any negative impact on persons occupying the development site, neighboring properties, or public rights-of-way;</p> <p>(ii) Constructed to allow for collection without damage to the development site or the collection vehicle; and,</p> <p>(iii) Provide an area for recycling as well as disposal of solid waste.</p> <p>(2) All such dumpsters shall be screened to prevent them from being visible to:</p> <p>(i) Persons located within any dwelling unit on residential property other than that where the dumpster is located;</p> <p>(ii) Occupants, customers, or other invitees located within any building on nonresidential property other than that where the dumpster is located; and</p> <p>(iii) Persons traveling on any public street, sidewalk or other public way.</p> <p><i>Staff comment: Dumpsters have been provided and located to minimize impacts to occupants and neighboring properties. They meet all the standards of this section and are also screened appropriately to prevent their visibility.</i></p>

*This standard is met*

#### Section 10.24.200 – Commercial and Industrial Architecture

Complies		Section	Standards
Yes	No		
✓		10.24.200(d)(4)	<p><b>Building form.</b> The design of all buildings shall employ textured surfaces, projections, recesses, shadow lines, color, window patterns, overhangs, reveals, changes in</p>



parapet heights, and similar architectural features to avoid monolithic shapes and surfaces and to emphasize building

*Staff comment: The elevations submitted demonstrate the building meets these standards. The elevations have been attached to the staff report.*

*This standard is met*

#### **Section 10.16.170 – Site Plan.**

**(D) Review Criteria.** The following review criteria applies to review of Site Plans:

Complies		Section	Standards
Yes	No		
✓		10.16.170(d)(1)	<p><b>All required information is shown on the Site Plan;</b>  <i>Staff comment: All required information was shown on the submitted site plan. The applicant went through multiple rounds of review to update the plans per review agency comments.</i></p> <p><i>This standard is met</i></p>
✓		10.16.170(d)(2)	<p><b>the lot size and lot dimensions are consistent with the approved Final Plat;</b></p> <p><i>Staff Comment: The lot size and dimensions are consistent with the Cook Minor Subdivision and are not proposed to change with this application.</i></p> <p><i>This standard is met.</i></p>
✓		10.16.170(d)(3)	<p><b>no building, structures, or other improvements encroach or infringe upon any easements, including but not limited to: access, utility and drainage easements;</b></p> <p><i>Staff Comment: There are no encroachments from proposed improvements onto easements.</i></p> <p><i>This standard is met.</i></p>
✓		10.16.170(d)(4)	<p><b>the proposed site grading is consistent with the requirements of any applicable adopted storm drainage criteria or master drainage plans;</b> <i>Comment: The Town Engineer has reviewed the civil plans for the development and had no comments on site grading and drainage.</i></p> <p><i>This standard can be met.</i></p>

✓

**10.16.170(d)(5)** the density and dimensions of proposed improvements conform to the zone district standards or the approved PUD requirements; and Staff Comment: The proposed plan meets all standards of the Commercial zone district.

*This standard is met.*

✓

**10.16.170(d)(5)** an acceptable public improvements agreement is provided for any public improvements to be constructed by the applicant as a condition to Site Plan approval. Comment: There are no public improvements proposed with this project. All improvements are private.

*This standard is not applicable.*

### **Section 10.24.300 – Community Housing Standards**

The purpose of this community housing policy is to address the critical lack of housing across nearly all income levels that is imposing a high housing cost burden and limiting the local workforce. This mitigation is an effort to preserve the health, safety, welfare, and quality of life for residents in this community through housing that is attainable. This is accomplished through the establishment of community housing requirements for development, which requires a portion of all new residential development to be set aside for community housing purposes as a condition of approval for such development.

Complies Yes	No	Section	Standards
		<b>10.24.300(d)</b>	<b>Community Housing Requirements.</b> All new residential subdivisions and all new multi-family residential developments shall set aside housing units for community housing as set forth in this section. <u>Staff comment</u> : The applicant will be required to comply with the Code's community housing requirements through either setting aside units as affordable, per code requirements, or through the fee-in-lieu program. Town staff will work with the applicant to determine which approach will be taken and will ensure that the Community Housing Requirements are met for this project. This has been placed a condition of approval prior to CO. This standard can be met.

### **RECOMMENDATION:**

Move to approve the Uplift Apartments Site Plan with the findings of fact that:

1. The development application meets the standards of the Town of Hayden's Development Code and preserves the health, safety, and welfare of the citizens of the Town of Hayden.

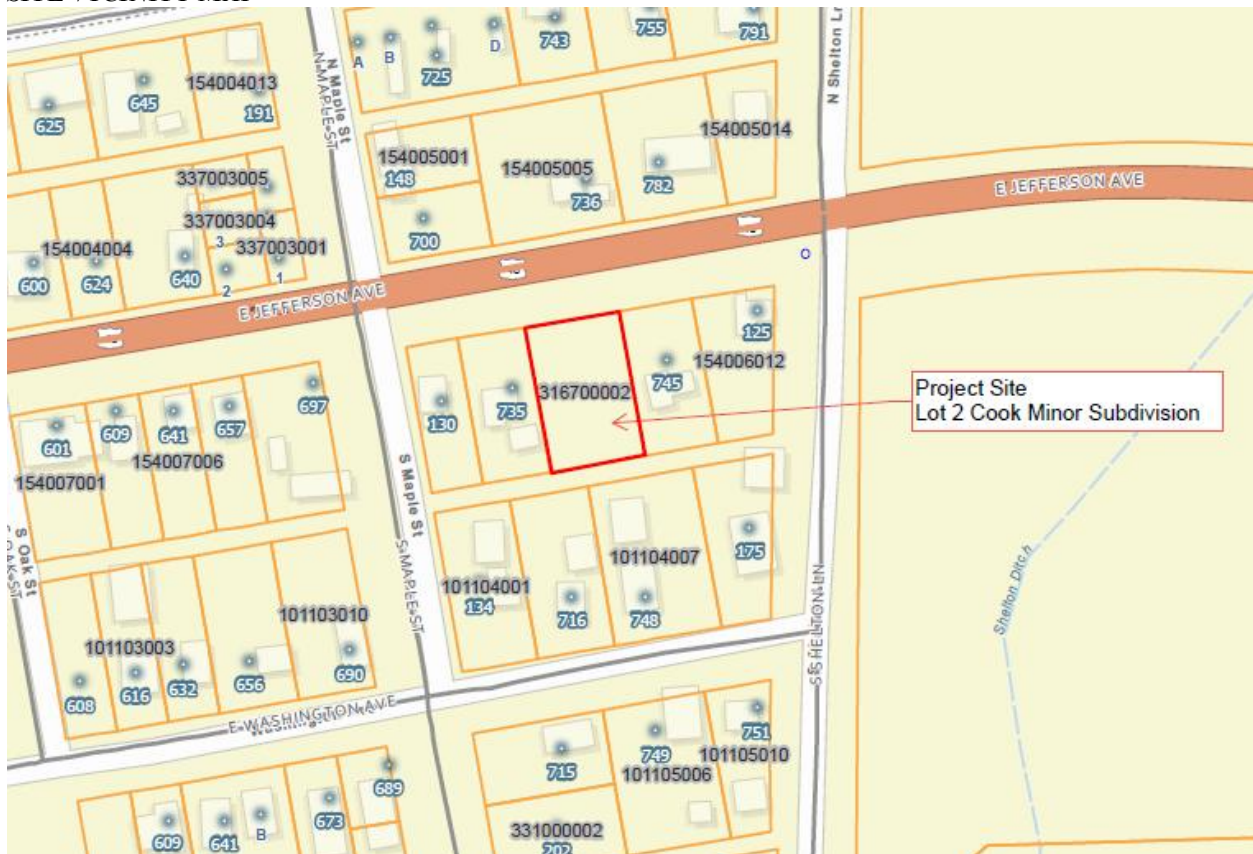
Subject to the following conditions of approval:

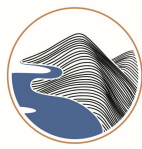
1. Prior to CO, the applicant pay a fee-in-lieu of land dedication for a public school site in accordance with requirements of Section 10.24.140 and Section 10.24.150.
2. Prior to CO, the applicant shall demonstrate compliance with the Community Housing Standards, as defined in Section 10.24.300.
3. Prior to construction, applicant shall provide proof of CDOT permit for water service connection and existing service abandonment in the US40 right of way.
4. Prior to construction, applicant shall submit construction drawings to the Town for review and approval including a utility service plan stamped by a professional engineer
5. With construction drawing submittal, please include additional geotechnical study recommended by the project engineer evaluating the infiltration capacity of the drainage system as proposed.
6. In lieu of constructing the sidewalk along US40 lot frontage, prior to approval of building permit application, developer shall provide contribution to the US40 sidewalk construction commensurate with the cost estimate provided. At the time of construction drawing submittal, applicant shall provide estimate for cost of sidewalk construction along US40 frontage including removal costs of asphalt pull out. Cost estimate is subject to approval by Town prior to acceptance.
7. Prior to approval of certificate of occupancy for the building, the alley shall be constructed and paved in accordance with the design included in the submitted construction drawings.

#### MANAGER'S RECOMMENDATION/COMMENTS:

*I concur with this recommendation.*

#### SITE VICINITY MAP





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**MEMORANDUM**

**TO:** Tegan Ebbert, Community Development Director  
Town of Hayden

**DATE:** April 10, 2025

**FROM:** Ben Beall, P.E.

**CC:** Bryan Richards,  
Director of Public Works

**SUBJECT:** Uplift Apartments,  
Lot 2 of the Cook Minor Subdivision  
739 E Jefferson Ave

**PN/File:**

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This memo provides comments related to the development package submitted to the Town by Four Points Engineering with plans dated March 14, 2025.

Informational comments:

1. The project engineer's response letter indicates concern that the Town would need to notify the relevant ditch company of an intention to drain storm water to the irrigation ditch. The ditch nearest to the project site, east of Shelton Street, is owned by the Town as a storm water overflow auxiliary ditch. The Town would support discharge of stormwater to that location and would take steps to notify necessary parties of that intention if the applicant decided that to be a preferred option to the onsite infiltration gallery approach to stormwater as included in the current proposal.

Proposed Conditions of Approval:

1. Prior to construction, applicant shall provide proof of CDOT permit for water service connection and existing service abandonment in the US40 right of way.
2. Prior to construction, applicant shall submit construction drawings to the Town for review and approval including a utility service plan stamped by a professional engineer
3. With construction drawing submittal, please include additional geotechnical study recommended by the project engineer evaluating the infiltration capacity of the drainage system as proposed.
4. In lieu of constructing the sidewalk along US40 lot frontage, prior to approval of building permit application, developer shall provide contribution to the US40 sidewalk construction commensurate with the cost estimate provided. At the time of construction drawing submittal, applicant shall provide estimate for cost of sidewalk construction along US40 frontage including removal costs of asphalt pull out. Cost estimate is subject to approval by Town prior to acceptance.
5. Prior to approval of certificate of occupancy for the building, the alley shall be constructed and paved in accordance with the design included in the submitted construction drawings.



Ty Johnson &lt;ty@mesaplanning.com&gt;

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## Request for Referral Comments - Uplift Apartments

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**Brad Parrott** <bparrott@westrouttfire.com>

Wed, Nov 26, 2025 at 9:33 AM

To: Kevin Corona &lt;kevin.corona@haydencolorado.org&gt;

Cc: Tegan Ebbert &lt;tegan.ebbert@haydencolorado.org&gt;, Ty Johnson &lt;ty@mesaplanning.com&gt;

After review, we have the following comments regarding fire code compliance:

### Fire Apparatus Access Road

- The alley, which we were told is 18 feet wide, does not meet the minimum unobstructed width of 20 feet required by the International Fire Code (IFC).
- Building Height: Please confirm the final building height. It appears from the attached documents that this building will be over 30' in height, the IFC also requires a 26-foot unobstructed driving surface width for aerial fire apparatus access for buildings taller than 30 feet.
- All fire department access roads must maintain an unobstructed vertical clearance of not less than 13 feet, 6 inches. For buildings over 30' in height the IFC states that overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. With all the overhead utilities located in the alley this may be an issue if it is our only access.
- Fire hydrant locations: There are no fire hydrants in the alley. Thus it would not be feasible for us to establish a water supply from the alley access in the event of a fire.

### Fire Safety Systems

- Since the building will require a monitored automatic sprinkler system, the Fire Department Connection (FDC) for this system must be located for easy access from Jefferson Avenue. It will need to be located on the north side of the building.

With all this in mind, the primary access road for the fire department must be from Jefferson Avenue. The fire department will need sidewalks around the building from the Jefferson sidewalk leading to the main front entry doors on the south side of the building to ensure clear access for emergency personnel. These sidewalks will need to be maintained year round for use.

At least one sidewalk around the building on the West side would mitigate all of the issues stated above and allow for easy access to the gas meter for emergency personnel. Two sidewalks around the structure, one around the West side and one around the East side, would allow for easy access to both the gas meter and electrical shut offs to the building.

If you have any questions please reach out to me, I would be happy to discuss further.

Thank you.

Brad Parrott  
Assistant Chief  
West Routt Fire  
[Quoted text hidden]



Ty Johnson <ty@mesaplanning.com>

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## Uplift Sidewalk

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**Brad Parrott** <bparrott@westrouttfire.com>  
To: Ty Johnson <ty@mesaplanning.com>

Thu, Dec 4, 2025 at 9:51 AM

Hey Ty,

Yes I saw the updated plans showing the 4' sidewalks on both sides.

That addresses our access issues.

Thanks

[Quoted text hidden]



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Ph: 970-871-6772 · Fax: 970-879-8023 · P.O. Box 775966 · Steamboat Springs, Colorado 80477

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November 7, 2025

Town of Hayden  
178 West Jefferson  
Hayden, CO 81639-0190  
970-276-3741 office

Re: Uplift Apartment Complex at Lot 2 Cook Minor Subdivision – Project Narrative  
Four Points Project No. 2147-001

Dear Hayden Planning Department;

**Introduction and Project Description**

This letter serves as the project narrative for the proposed 12-unit apartment complex located at Lot 2 Cook Minor Subdivision (Project). The Project consists of eight one-bedroom and four two-bedroom apartment units and all associated infrastructure and amenities, including access, parking, sidewalks, dumpster pad and enclosure, wet and dry utilities, open space areas, drainage infrastructure, stormwater best management practices, and landscaping. The project conforms to Hayden's municipal code, master plan, and the community's forward vision.

**Existing Conditions**

Lot 2 is currently vacant and fronts Jefferson Avenue (US 40). A gravel alley runs east-west along the southern boundary of the lot, providing access to South Maple Street and South Shelton Lane. Existing utilities and service connections are available to the site. An 8-inch PVC water main is located within the US 40 right-of-way, while electrical, communications, gas, and sanitary sewer utilities are situated along the southern property line and within the alley.

The site exhibits poor drainage characteristics, with no defined historical discharge point into a drainage way, easement, or storm sewer network. A low area along the western property line allows runoff to accumulate and flow into the adjacent property (Anna Dispensary). To address this issue, infiltration facilities are necessary to manage stormwater and snowmelt effectively. Currently, runoff from Lot 2 drains into a recently installed infiltration basin located at the Anna Dispensary. The development proposes install similar infiltrative measures to facilitate stormwater collection and management for the site.

**Compliance with Hayden Municipal Code and Site Design Criteria**

The Project conforms to Hayden Municipal Code and development standards. The land is currently zoned as Commercial (C). A multi-family dwelling unit up to twenty-four units per building is a permitted use by right. The following outlines compliance criteria as it pertains to Hayden Municipal Code Chapter 7.24.

1. Dimensional and Setback Standards: Building dimensions and setbacks comply, see sheet C3 and architectural drawings and renderings. A small front setback is proposed to maximize use of the lot.
2. Community Design Standards: Civil and architectural design standards are met. See plan sets.

3. Design Elements and Compact Urban Growth: The Project maximizes use of space on Lot 2 for residential development while staying within development standards. A compact design and efficient use of space allows for affordable residential dwelling units.
4. Access and Parking: The Project includes improving the alley access with regrading, widening, and hard surface pavement. The increase in traffic via the alley will necessitate a paved access connecting to the existing paved side roads. The parking lot and dumpster are located in the back and accessed via the alley and screened from Jefferson Ave by the building and landscaping. The parking lot and number of parking stalls meet required standards. Sidewalks accessing the parking lot and the frontage are proposed.
5. Landscaping: The landscaping conforms to code and is integrated into the overall design and drainage features. To meet the Town code pertaining to island requirements for the parking lot, the project incorporates two planting islands interior to the parking lot. The two landscape islands and trees will effectively screen and buffer the parking area from adjacent properties. There are seven additional trees proposed in a combination of deciduous, evergreen, and ornamental trees and shrubs integrated directly off the edge of parking for additional visual screening and buffering.
6. Drainage and Environmental Considerations: Stormwater drainage infrastructure was a major constraint associated with Lot 2. Lack of existing drainage infrastructure and a low ponding area requires the installation of stormwater infiltration basins to manage both on-site and off-site runoff. The infiltration basins will treat runoff from the parking lot through the process of infiltration into native soils.
7. Open Space: Approximately 24% of the development is open space area geared toward recreational benefit, drainage functionality, and aesthetics.
8. Water and Sewer Infrastructure: New water and sewer services and associated main taps are proposed
9. Lighting: An illumination study was performed and an illumination and lighting plan provided.

### **Consistency with Hayden Forward Master Plan**

The proposed project aligns with the objectives outlined in the **Hayden Forward Master Plan 2020**, supporting the community's vision for sustainable growth. By offering affordable and economical housing units within walking distance of downtown, the project addresses a critical need for accessible housing options. The zoning designation enables the development of multi-family units, consistent with the plan's goal to foster a variety of housing types. In response to increasing housing demand and the rising costs of new construction, the project adopts an efficient and economical design approach. Furthermore, the compact development aligns seamlessly with Hayden's strategic vision for a well-planned, forward-thinking community.

### **Conclusion**

We believe the Project meets all of the requirements of a Major Site Plan and is in line with Hayden standards, the Hayden Forward Master Plan, and Hayden Comprehensive Plan. We look forward to the approval of the Project and working with the Town of Hayden to bring it to the marketplace.

Sincerely,

Walter Magill, PE  
Four Points Surveying & Engineering

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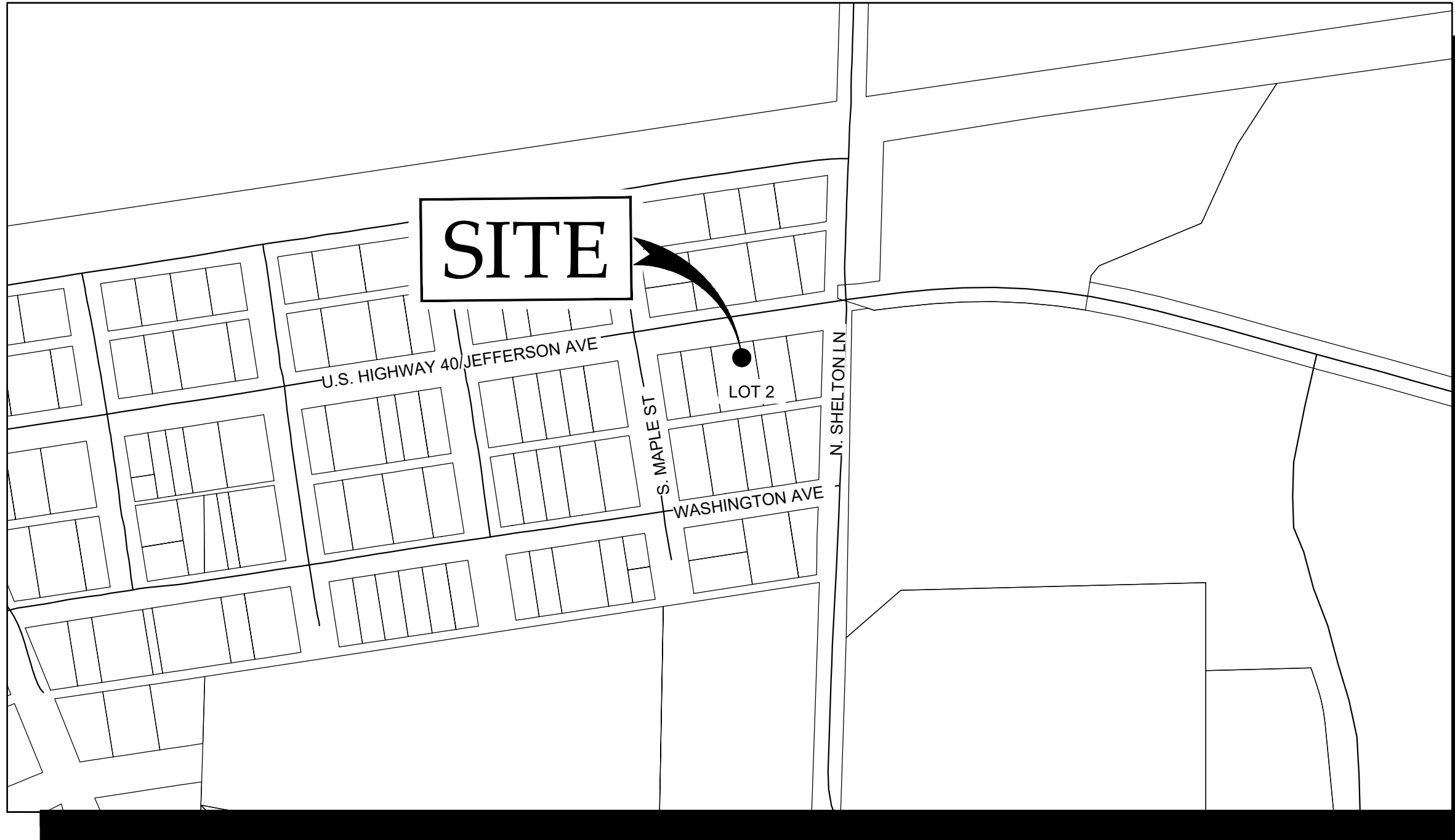
LEGEND	EXISTING	PROPOSED
PROPERTY BOUNDARY		
SECTION LINE		
LOT BOUNDARY		
EASEMENT		
SETBACK		
EDGE OF ASPHALT		
CURB		
CURB FLOWLINE		
1/2 FT CONTOUR	—5282—	—5282—
5/10 FT CONTOUR	—5280—	—5280—
CENTER LINE OF DITCH		
WATER MAIN		
CURB STOP, GV, FH		
SIGN		
LIGHT POLE		
SEWER MAIN		
MANHOLE AND CLEANOUTS		
ELECTRICAL - UNDERGROUND		
ELECTRICAL - OVERHEAD		
ELECTRICAL - OVERHEAD - HIGH VOLTAGE		
ELECTRICAL-PRIMARY		
FIBER OPTIC		
TELEPHONE		
UNDERGROUND		
UTILITY PEDESTALS		
POWER POLE/ LIGHT POLE		
GAS		
FENCE		
WOODEN FENCE		
PROPOSED BUILDING		
OVERHANG		
SIDEWALK/ BOARDWALK		
BASE FLOOD CROSS SECTION		
FEMA SFHA BOUNDARY		
VEGETATION OUTLINE		
STORM INLET		
CULVERT		
ASPHALT		
CONCRETE		
GRAVEL/SOFT SURFACE		
ROCK/RIP RAP		
WETLANDS/WETLANDS REMOVAL		

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	INV	INVERT
AP	ANGLE POINT	LF	LINEAL FEET
APR	APPROXIMATE	LP	LOW POINT
A	ASPHALT	MAX	MAXIMUM
BFE	BASE FLOOD ELEVATION	MIN	MINIMUM
BFF	BASEMENT FINISH FLOOR	MOD	MODULE
BOW	BOTTOM OF WALL	NG	NATURAL GROUND
BVC	BEGIN VERTICAL CURVE	NO	NUMBER
BW	BACK OF WALK	NTS	NOT TO SCALE
C	CURB	O/S	OFFSET
CL	CENTERLINE	OHD	OVERHEAD DOOR
CLNG	CEILING	PC	POINT OF CURVATURE
CMP	CORRUGATED METAL PIPE	PED	PEDESTAL
CIO	CLEAN OUT	PI	POINT OF INTERSECTION
CONC	CONCRETE	PL	PROPERTY LINE
CNR	CORNER	PR	PROPOSED
CR	CURB RETURN	PT	POINT
CS	CURB STOP	PVC	POINT OF VERTICAL CURVE
D	DEPTH	PVC	POLYVINYL CHLORIDE PIPE
DI	DRAIN INLET	PVI	POINT OF VERTICAL INTERSECTION
DIP	DUCTILE IRON PIPE	RD	ROAD
DMH	DRAINAGE MANHOLE	R	RADIUS
DRN	DRAIN	RO	ROUGH OPENING
DT	DITCH	ROW	RIGHT-OF-WAY
DW	DRIVEWAY	RW	RETAINING WALL
EA	EACH	SFHA	SPECIAL FLOOD HAZARD AREA
EG	EXISTING GRADE	SQFT	SQUARE FEET
ELEV	ELEVATION	SMH	SEWER MANHOLE
ENGR	ENGINEER	SS	SANITARY SEWER
EOA	EDGE OF ASPHALT	STA	STATION
EOW	EDGE OF WALK	STRUCT	STRUCTURAL
EX	EXISTING	SW	SIDEWALK
FES	FLARED END SECTION	TB	THRUST BLOCK
FFE	FINISH FLOOR ELEVATION	TBD	TO BE DETERMINED
FG	FINISH GRADE	TBR	TO BE REMOVED
FH	FIRE HYDRANT	TBW	TOP BACK OF WALK
FL	FLOW LINE	TEL	TELEPHONE
FT	FOOT OR FEET	TOP	TOP OF PIPE
GFE	GARAGE FFE	TO	TOP OF
GB	GRADE BREAK	TYP	TYPICAL
GYP	GYPSUM	VOL	VOLUME
GV	GATE VALVE	VP	VALLEY PAN
HC	HANDICAP RAMP	W	WIDTH
HP	HIGH POINT	WL	WATERLINE
IN	INLET	W	WITH
		WQ	WATER QUALITY

# UPLIFT APARTMENT COMPLEX at LOT 2 COOK MINOR SUBDIVISION

739 EAST JEFFERSON AVE  
HAYDEN, CO 81639



PROJECT VICINITY MAP

SCALE: 1"= 250'

NORTH



CIVIL SHEET INDEX

CIVIL PLANS

C1	CIVIL COVER PAGE & NOTES
C2	EXISTING CONDITIONS PLAN
C3	SITE PLAN
C4	GRADING AND DRAINAGE PLAN
C5	OPEN SPACE PLAN
C6	LANDSCAPING PLAN
C7	ALLEY PAVING PLAN & PROFILE

TOWN COUNCIL CERTIFICATE

THESE PLANS OF THE LOT 2 COOK MINOR SUBDIVISION IS APPROVED FOR FILING THIS DAY OF , 2024, BY THE TOWN COUNCIL, TOWN OF HAYDEN, COLORADO. THIS APPROVAL IS CONDITIONED FOR ALL EXPENSES INVOLVING NECESSARY IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, LANDSCAPING, CURBS, GUTTERS, STREET LIGHTS, STREET SIGNS, TRAILS AND SIDEWALKS SHALL BE FINANCED BY OTHERS AND NOT THE TOWN. THE DEDICATIONS OF THE STREETS, OPEN SPACE EASEMENTS, EMERGENCY SERVICE VEHICLE ACCESS EASEMENTS, ALLEYS, ROADS AND OTHER PUBLIC AREAS SHOWN HEREON AND UTILITY EASEMENTS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AS SHOWN HEREON ARE ACCEPTED BY THE TOWN OF HAYDEN SUBJECT TO THE CONDITIONS THAT THE TOWN SHALL NOT UNDERTAKE THE MAINTENANCE OF SUCH PUBLIC AREAS UNTIL SUCH PUBLIC AREAS HAVE BEEN SATISFACTORILY COMPLETED TO THE TOWN'S SPECIFICATIONS BY THE OWNER AND A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF HAYDEN ACCEPTING THE SAME HAS BEEN ADOPTED AND PLACED OF RECORD.

RYAN BANKS, MAYOR

ATTEST:

SHARON JOHNSON, TOWN CLERK

SURVEYOR'S CERTIFICATE

I, WALTER N. MAGILL, PLS 38024, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF LOT 2 COOK MINOR SUBDIVISION WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THIS PLAT HAS BEEN PREPARED IN COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO AT THE TIME OF THIS SURVEY AND WITHIN MY CONTROL AND IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

WALTER MAGILL, P.L.S. & P.E.

WALTER N. MAGILL, COLORADO PLS #38024

DEVELOPMENT PLANS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT
DATE: 12-04-2025	1	7/8/25	PARKING AND LANDSCAPING	WNM
JOB #: 2147-001	2	8/13/25	PARKING AND LANDSCAPING (ROUND 2)	WNM
DRAWN BY: WNM	3	11/7/25	PARKING AND LANDSCAPING (ROUND 3)	WNM
DESIGN BY: WNM	4	12/2/25	PERIMETER SIDEWALKS	WNM
REVIEW BY: FPSE	5	12/2/25	ADA PARKING	WNM
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.				

**Four Points Surveying & Engineering**  
410 S. Lincoln Ave, Suite 15  
P.O. Box 775966  
Steamboat Springs, CO 80487  
(970) 819-1161  
walterm@fourpointsse.com

**SHEET #**

**C1**

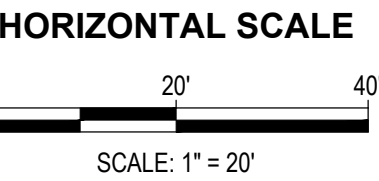


- GENERAL NOTES:
- EXISTING CONDITIONS AND TOPOGRAPHY WAS SURVEYED AND DRAWN BY FOUR POINTS SURVEYING AND ENGINEERING.
  - EXISTING UTILITIES SHOWN ARE REPRESENTATIVE OF AS-BUILT DATA AND SURVEYED FIELD LOCATES. BURIED UTILITIES HAVE NOT BEEN VERIFIED WITH POT-HOLING.

LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	CENTER LINE OF DITCH
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING UNDERGROUND TELEPHONE
	EXISTING WOOD FENCE
	EXISTING CONCRETE PAVING
	EXISTING BUILDINGS



UPLIFT COMMERCIAL APARTMENT COMPLEX  
LOT 2 COOK MINOR SUBDIVISION  
739 E JEFFERSON AVE  
HAYDEN, CO 81639



CONTOUR INTERVAL = 1 FT

DATE: 12-02-2025  
JOB #: 2147-001  
DRAWN BY: WNM  
DESIGN BY: WNM  
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN 24" X 36", THE  
GRAPHIC SCALE SHOULD BE UTILIZED.

EXISTING  
CONDITIONS PLAN

SHEET NO.  
**C2**





#### GENERAL NOTES:

1. ZONING: (C) COMMERCIAL
2. EXISTING CONDITIONS AND TOPOGRAPHY WAS SURVEYED AND DRAWN BY FOUR POINTS SURVEYING AND ENGINEERING.
3. EXISTING UTILITIES SHOWN ARE REPRESENTATIVE OF AS-BUILT DATA AND SURVEYED FIELD LOCATES. BURIED UTILITIES HAVE NOT BEEN VERIFIED WITH POT-HOLING.

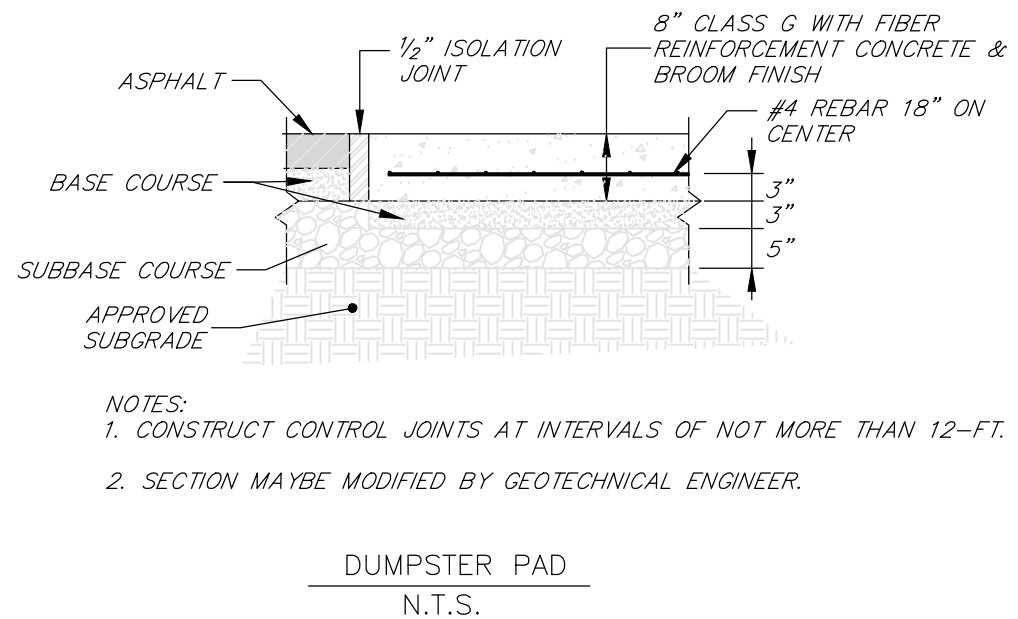
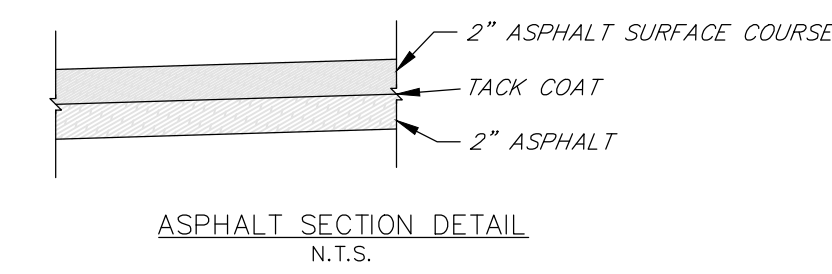
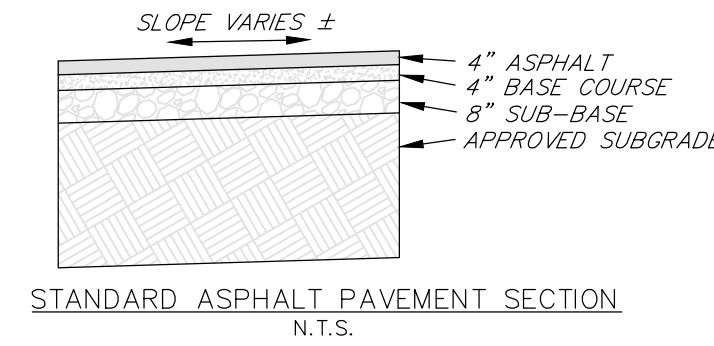
#### DWELLING UNITS AND PARKING STALL CALCULATIONS:

NO. OF 1-BDRM APARTMENTS	(8)
NO. OF 2-BDRM APARTMENTS	(4)
NO. OF PARKING STALLS REQ'D	(16)
TOTAL PARKING STALLS PROVIDED	(16)

\* ALL PARKING STALLS SHALL BE 9'X18'

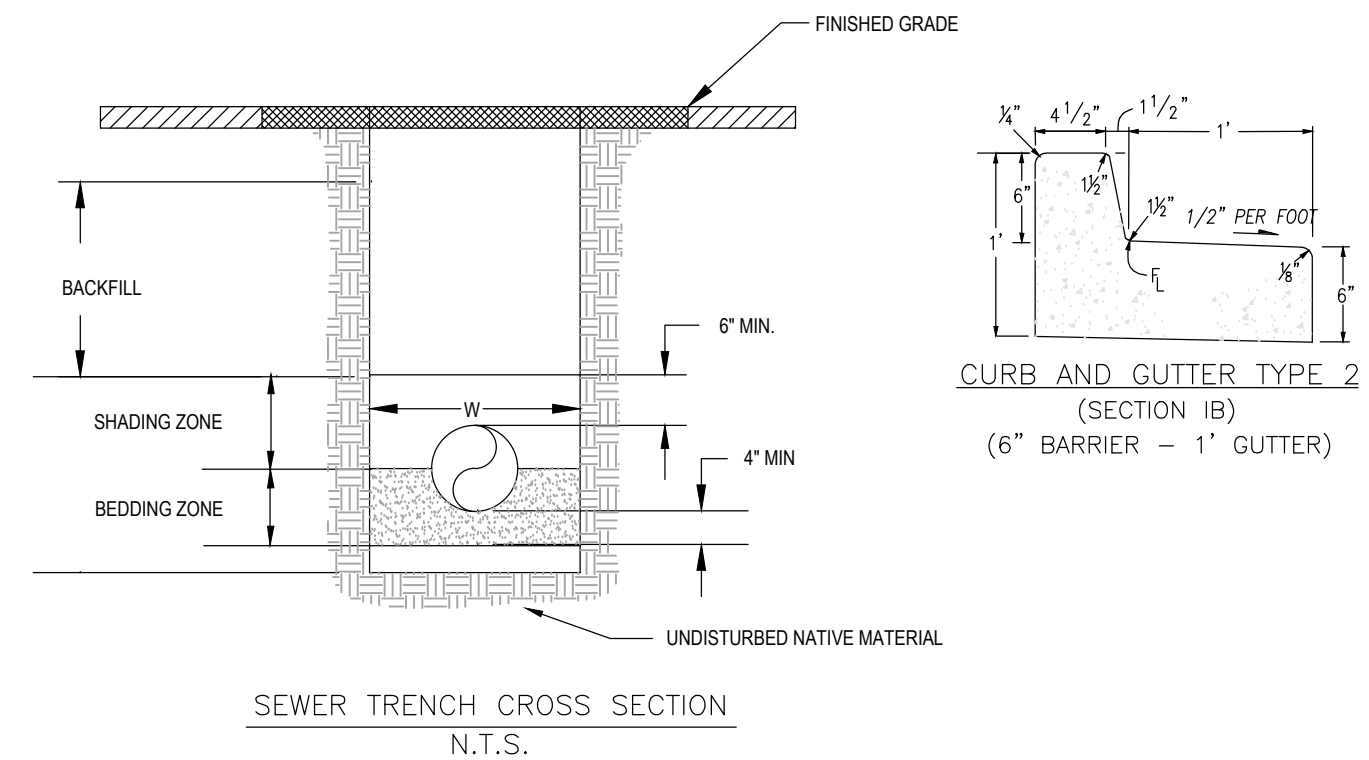
#### ZONING CHART - COMMERCIAL DISTRICT

Standards	CBD - Central Business District	C - Commercial District
<b>Lot Area - Minimum</b>	No minimum lot area except as required during site plan review	No minimum lot area except as required during site plan review
<b>Lot Frontage - Minimum</b>	No minimum lot frontage except as required during site plan review	No minimum lot frontage except as required during site plan review
<b>Structure Height</b>	3-1/2 stories or 35 feet	3-1/2 stories or 35 feet
<b>Structure Setbacks</b>		
• Front Minimum	No minimum lot frontage except as required during site plan review	No minimum lot frontage except as required during site plan review
• Side Minimum	No minimum lot frontage except as required during site plan review****	No minimum lot frontage except as required during site plan review****
• Rear Minimum	No minimum lot frontage except as required during site plan review****	No minimum lot frontage except as required during site plan review****
<b>Other</b>		On lots 1.5 acres or larger, setbacks on all sides of the property shall be a minimum of 25 ft.



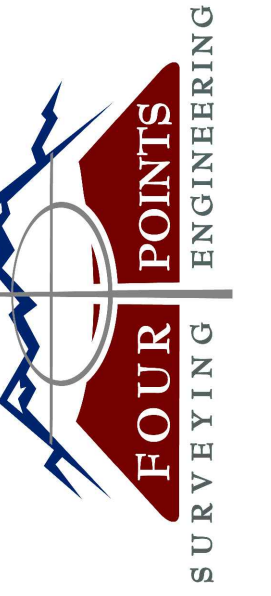
#### WATER, SEWER, AND UTILITY NOTES:

1. EXISTING DRY UTILITY LOCATIONS WERE OBTAINED FROM UTILITY MAPPING, UTILITY LOCATES, AND FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POT-HOLING.
2. NO EXISTING SANITARY SEWER SERVICE STUBS OR CLEANOUTS WERE LOCATED DURING FIELD SURVEYING EFFORTS.
3. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICES IS TEN (10') FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS TEN (10') FEET.
4. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS. MINIMUM DEPTH OF BURY FOR WATER SERVICES SHALL BE 7' FEET.
5. VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY.
6. SEWER SERVICES ARE ANTICIPATED TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2%, UNLESS NOTED OTHERWISE. MINIMUM DEPTH OF BURY FOR SEWER SERVICES SHALL BE 4'.
7. ALL FITTINGS ASSOCIATED WITH UTILITY INSTALLATION WILL BE ON-SITE PRIOR TO WATER LINE SHUT DOWN.
8. COORDINATE GAS, ELECTRICAL, AND COMMUNICATIONS (TELEPHONE, INTERNET, CABLE) SERVICE INSTALLATIONS WITH THE RESPECTIVE UTILITY COMPANIES. THIS PLAN MAY BE USED TO COORDINATE INSTALLATION ROUTES.



#### NOTES:

1. A GUIDE FOR DESIRABLE TRENCH WIDTH (W) AT THE TOP OF THE PIPE SHALL BE THE NOMINAL DIAMETER OF THE PIPE PLUS 12 INCHES ON EACH SIDE OF THE PIPE.



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#### UPLIFT COMMERCIAL APARTMENT COMPLEX LOT 2 COOK MINOR SUBDIVISION

739 E JEFFERSON AVE  
HAYDEN, CO 81639

#### HORIZONTAL SCALE

0 10' 20'  
SCALE: 1" = 10'

CONTOUR INTERVAL = 1 FT

DATE: 12-04-2023  
JOB #: 2147-001  
DRAWN BY: WNM  
DESIGN BY: WNM  
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

#### SITE PLAN DEC. 2025

DRAWING:

SHEET NO.

C3









OPEN SPACE LEGEND

- STORM DRAINAGE FACILITIES
- SIDEWALKS, REGIONAL SPACE, PARKS & TREE LAWNS
- SNOW STORAGE

OPEN SPACE AREA - SQUARE FEET

1,000 SF	STORM DRAINAGE FEATURES & FACILITIES
2,300 SF	SIDEWALKS, TREE LAWNS, & PLANTING AREAS
= 3,300 SF	TOTAL OPEN SPACE AREA

OPEN SPACE PERCENTAGE

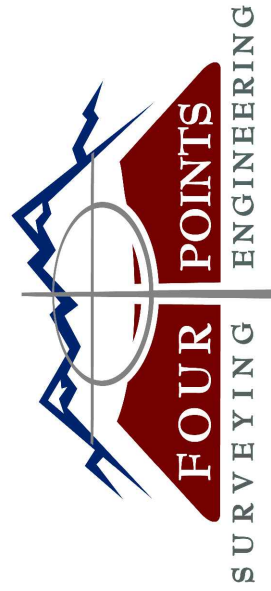
3,300 SF	TOTAL OPEN SPACE AREA
+ 12,632 SF	GROSS AREA OF DEVELOPMENT
= 26%	PERCENTAGE OF OPEN SPACE

SNOW STORAGE

825 SF	PROVIDED
0 SF	REQUIRED

NOTE: THERE IS NO REQUIREMENT FOR SNOW STORAGE LISTED IN THE HAYDEN DEVELOPMENT CODE, LATEST EDITION.

825 SQUARE FEET TO CLEAR THE PARKING LOT HAS BEEN PROVIDED.

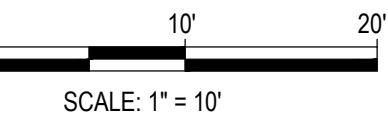


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No.	DATE	REVISIONS	INT
1	7/8/25	PARKING AND LANDSCAPING	WNM
2	8/13/25	PARKING AND LANDSCAPING (ROUND 2)	WNM
3	11/7/25	PARKING AND LANDSCAPING (ROUND 3)	WNM
4	12/2/25	PERMETER SIDEWALKS	WNM
5	12/4/25	ADA PARKING	WNM

UPLIFT COMMERCIAL APARTMENT COMPLEX  
LOT 2 COOK MINOR SUBDIVISION  
739 E JEFFERSON AVE  
HAYDEN, CO 81639

HORIZONTAL SCALE



CONTOUR INTERVAL = 1 FT

DATE: 12-04-2025  
JOB #: 2147-001  
DRAWN BY: WNM  
DESIGN BY: WNM  
REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

OPEN SPACE PLAN




SHEET NO.

C5





## LANDSCAPING LEGEND & PLANTING COUNT

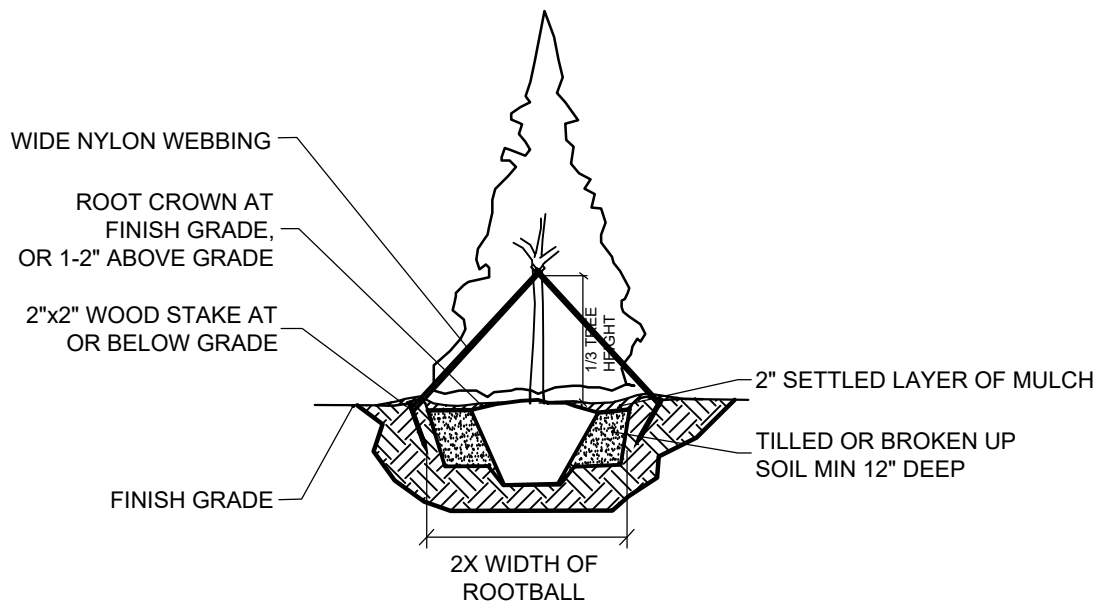
- 
    - DECIDUOUS TREES**
      - QUAKING ASPEN (8 TOTAL)
      - NATIVE CHOKE CHERRY (4 TOTAL)
  - 
    - DECIDUOUS SHRUBS**
      - ARCTIC FIRE DOGWOOD (2 TOTAL)
  - 
    - EVERGREEN TREES**
      - COLORADO BLUE SPRUCE (5 TOTAL)
  - 
    - EVERGREEN SHRUBS**
      - JUNIPER (8 TOTAL)
  - 
    - PERENNIAL GRASSES**
      - PER OWNER, EXAMPLES INCLUDE:  
LITTLE BLUESTEM, BLACK SEDGE, AN  
BLUE GRAMA.

### NOTES: PLANTING MATERIALS

- (1-1/2) INCH CALIPER ORNAMENTAL TREES, SIX (6) FOOT TALL EVERGREEN TREES AND FIVE (5) GALLON SHRUBS.
2. PLANTS SHALL BE HEALTHY, WELL-BRANCHED VIGOROUS STOCK WITH A GROWTH HABIT NORMAL TO THE SPECIES AND VARIETY AND FREE OF DISEASES, INSECTS AND INJURIES. A VARIETY OF PLANT SPECIES SHOULD BE INSTALLED TO PREVENT THE SPREAD OF DISEASE.
3. ALL PLANTS SHALL CONFORM TO STANDARDS FOR MEASUREMENTS, GRADING, BRANCHING, QUALITY, BALL AND BURLAPPING AS STATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN, INC., (AANASNS) AND THE COLORADO NURSERY ACT OF 1965 (CNA).

NOTES: FINAL GRADING AND RE-VEGETATION

1. ALL FINISHED GRADES SHALL HAVE A MINIMUM OF 6" OF NATIVE TOPSOIL AND SHALL BE RELATIVELY FREE OF STONES, CLODS, STICKS, AND OTHER DEBRIS.
2. ALL FINISHED GRADES SHALL BE PROPERLY SEEDDED, FERTILIZED, AND MULCHED. SLOPES REQUIRE STRAW EROSION CONTROL BLANKET.
3. ADJACENT TO TOLERANT, LOW MAINTENANCE GRASS SEED AND FERTILIZER DEVELOPERS CHOOSE BEFORE AND AFTER MULCH OR STRAW BLANKET INSTALLATION AT THE APPROPRIATE SPECIFIC SEEDING RATE.
4. ALL DISTURBED AREAS NOT RECEIVING PAVING, ROCK OR GRAVEL SURFACING SHALL BE RE-VEGETATED WITHIN ONE CONSTRUCTION SEASON.

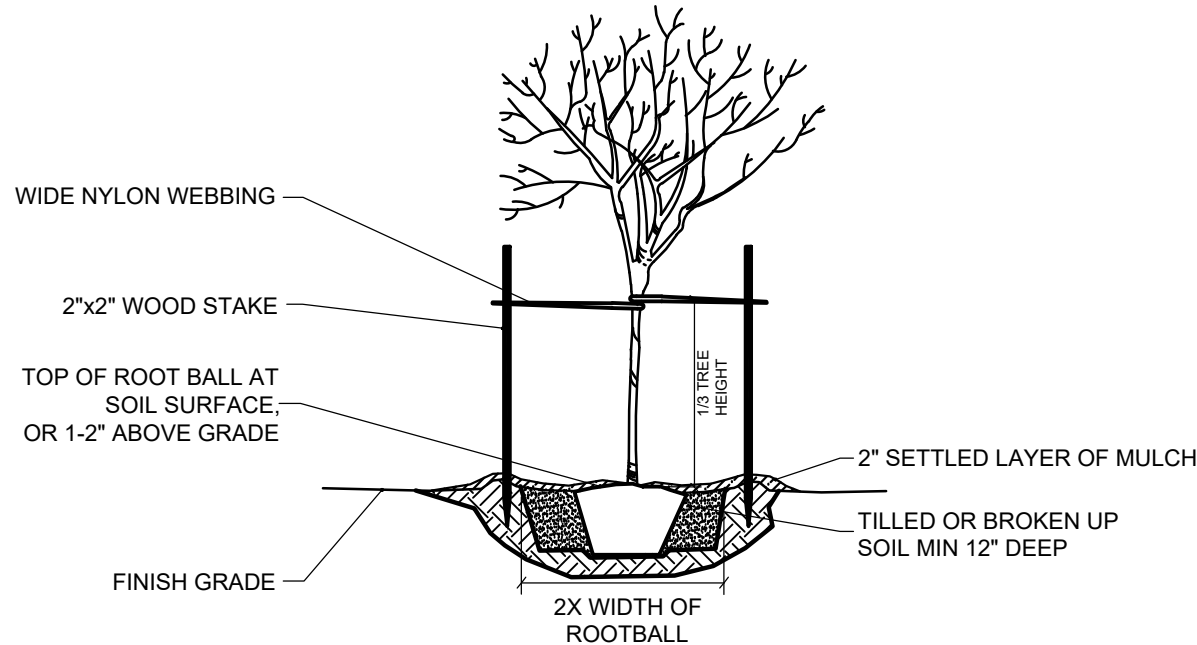


## EVERGREEN TREE PLANTING

NOT TO SCALE

NOTES: EVERGREEN TREE PLANTING

1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z601-1204). PLANT SPECIES AND CULTIVARS SHALL BE AS LISTED IN ANSI A300 PART 6.
2. THE TREE TRUNK SHALL BE A MINIMUM OF 2x WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DO HOLE DEPTHS TO BE 1 1/2 TIMES THE TRUNK DIAMETER. HOLE DEPTHS SHALL BE 1 1/2 TIMES THE TRUNK DIAMETER. HOLE DEPTHS SHALL BE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
3. SCARP THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
4. IF THE TREE IS TO BE PLANTED IN A HOLE, THE TREE TRUNK SHALL BE SET AT AN ANGLE OF 1/2 DEGREE TO THE TRUNK PLANTING HOLE. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
5. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
6. BACKFILL SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
7. USE THREE 2" X 4" WOOD STAKES DRIVEN INTO UNDISTURBED SOIL A MINIMUM OF 16 INCHES. SPACE STAKES EQUALLY AROUND THE TREE.
8. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
9. AT A MINIMUM, THE TREE TRUNK SHALL BE PROTECTED BY A 2" X 2" (SETTLED) DEPTH OF FINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
10. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI A300 SPECIFICATIONS.
11. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.

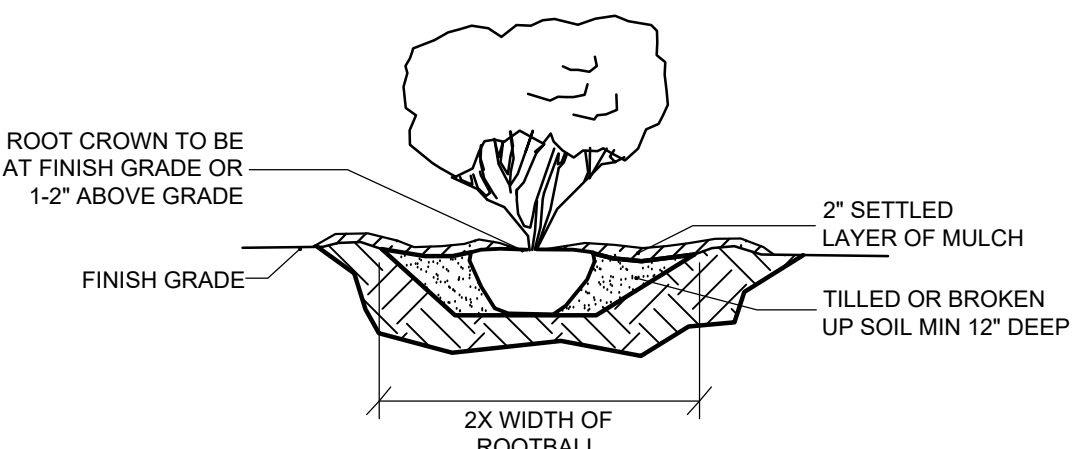


### SMALL TREE PLANING (<2")

NOT TO SCALE

NOTES: SMALL TREE PLANTING (<2" CAL.) - ASPENS AND DECIDUOUS

1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART B.
2. DIG THE PLANTING HOLE A MINIMUM OF 2x width of ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOW WIDE ENOUGH TO PERMIT LIFTING. DO NOT DO THE HOLE DEEPER THAN THE ROOT BALL ONLY.
3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
4. LIFT SET AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
6. IF SOIL IS SET IN PLACE, REMOVE EXCESS SOIL AND STRIPS FROM THE TOP OF THE ROOTBALL.
7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
8. USE TWO 2" X 2" WOOD STAKES 1/3 TREE HEIGHT IN LENGTH DRIVEN INTO UNDISTURBED SOIL A MINIMUM OF 16 INCHES. STAKES SHOULD BE SPACED EQUALLY ACROSS FROM AND IN LINE WITH THE TRUNK-PARALLEL TO THE PREVAILING WIND.
9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
10. APPLY A 2" (SETTLED) DEPTH OF PINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI A300 SPECIFICATIONS.
12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.

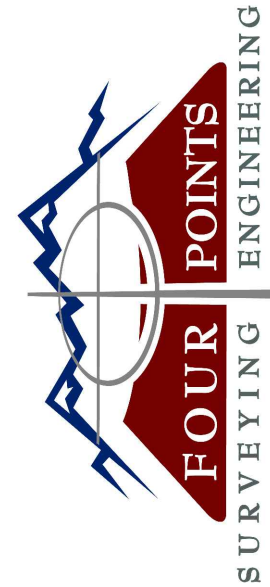


## TYPICAL SHRUB PLANTING

NOT TO SCALE

NOTES: TYPICAL SHURB PLANTING, INDIVIDUAL PLANTING HOLE

1. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
2. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
3. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL IS PRONE TO SETTLING.
4. IF CONTAINER GROWN PLANT, GENTLY SLIDE PLANT OUT OF CONTAINER. DISTURB THE ROOTS.
5. IF BAG GROWN PLANT, REMOVE BURLAP FROM AT LEAST THE TOP 12 INCHES OF THE ROOTBALL, WITHOUT DISTURBING THE ROOTBALL. REMOVE THE BURLAP FROM THE TRUNK, REMOVE BURLAP AND WIRE SASH (IF PRESENT) FROM THE ROOT BALL.
6. BACK FILL THE PLANTING HOLE WITH EXCAVATED NATIVE SOIL, BROKEN UP OR TILLED. WATER TO REMOVE AIR POCKETS. DO NOT ADD AMENDMENTS.
7. PLACE PINE STRAW OR BARK MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 1 TO 3 INCHES.



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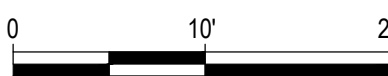
No.	DATE	REVISIONS	INT
1	7/6/25		WNM
2	8/13/25	PARKING AND LANDSCAPING	WNM
3	11/7/25	PARKING AND LANDSCAPING (ROUND 2)	WNM
4	11/22/25	PARKING AND LANDSCAPING (ROUND 3)	WNM
5	12/2/25	PERIMETER SIDEWALKS	WNM
	12/4/25	ADA PARKING	WNM

**UPLIFT COMMERCIAL APARTMENT COMPLEX  
LOT 2 COOK MINOR SUBDIVISION**

**LOT 2 COOK MINOR SUBDIVISION**

739 E JEFFERSON AVE  
HAYDEN, CO 81639

### HORIZONTAL SCALE



SCALE: 1" = 10'

CONTOUR INTERVAL = 1 FT

DATE: 12-04-2025

JOB #: 2147-001

DESIGN BY: WNM

REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A  
FORMAT OTHER THAN 24" X 36", THE  
GRAPHIC SCALE SHOULD BE UTILIZED

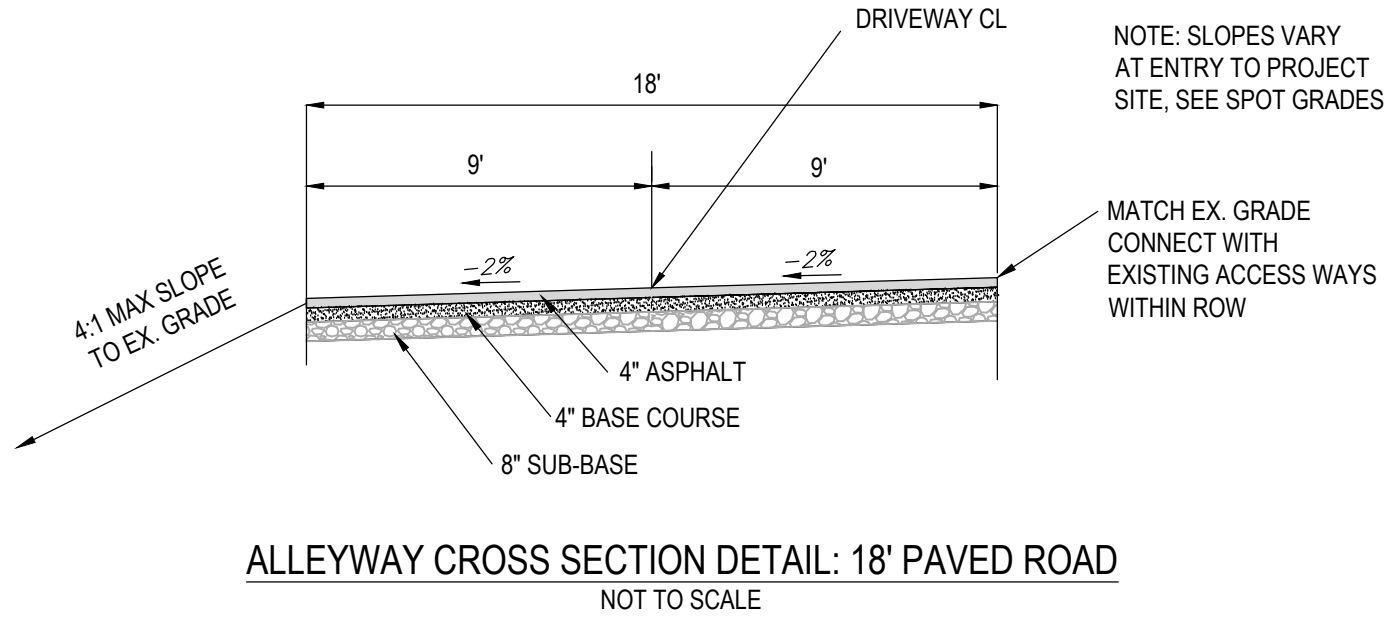
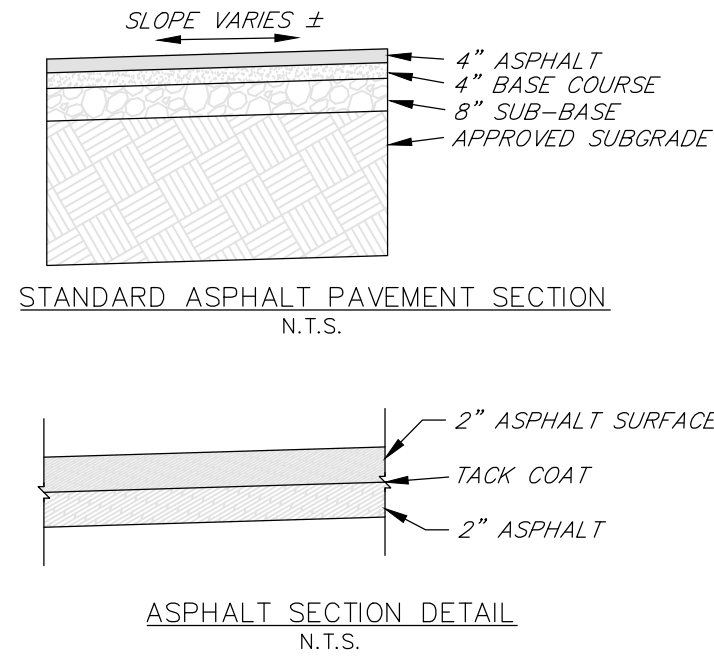
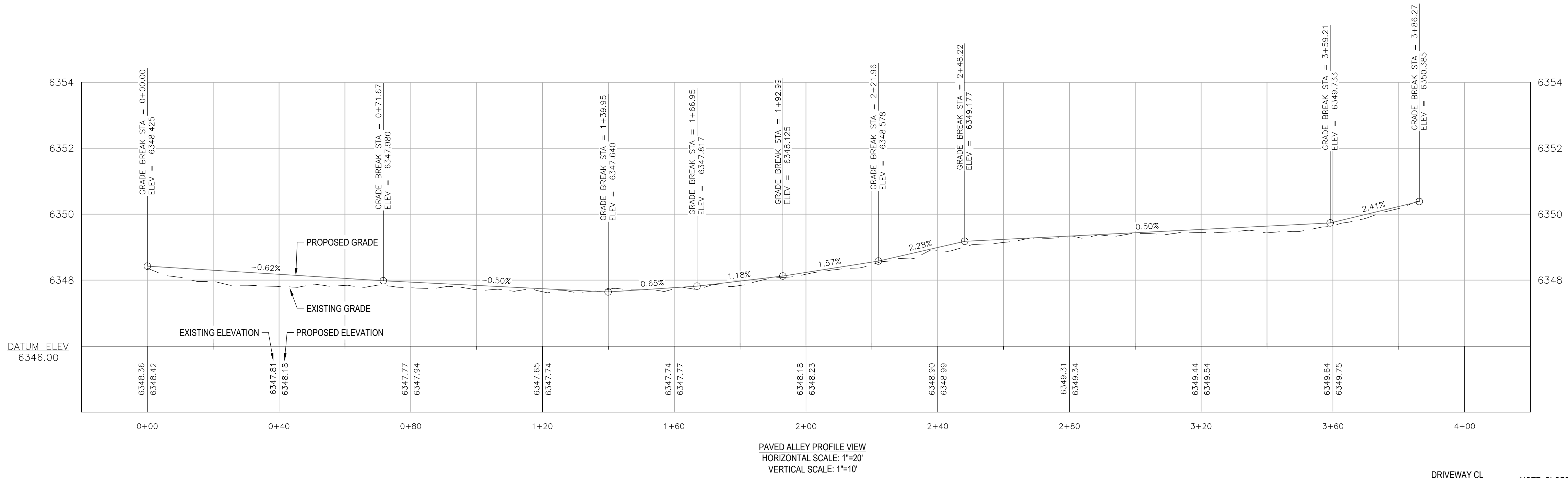
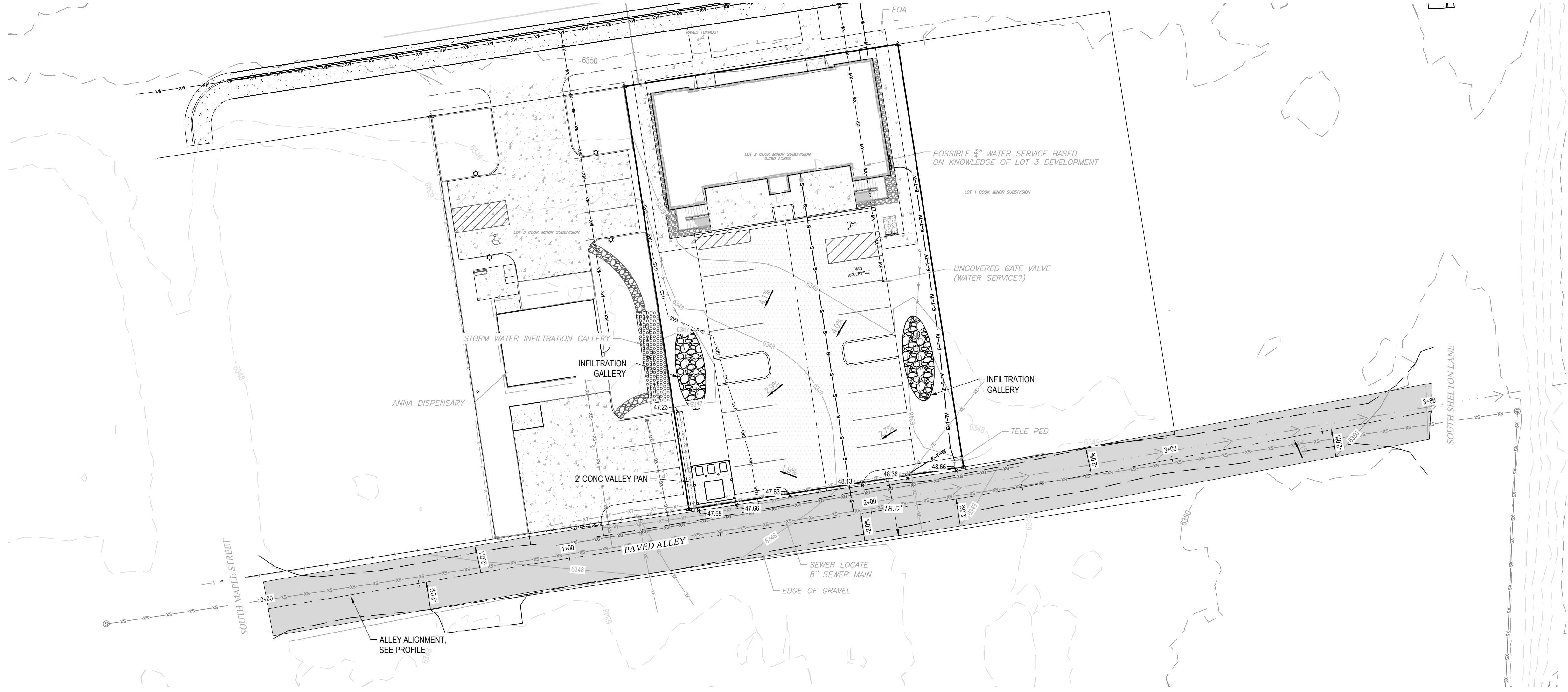
## LANDSCAPING PLAN

**DRAWING:**

SHEET NO.

# C6





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No.	DATE	REVISIONS	INT
1	7/8/25	PARKING AND LANDSCAPING	WNM
2	8/13/25	PARKING AND LANDSCAPING (ROUND 2)	WNM
3	11/7/25	PARKING AND LANDSCAPING (ROUND 3)	WNM
4	12/2/25	PERMITS SPECIALS	WNM
5	12/2/25	ADA PARKING	WNM

**UPLIFT COMMERCIAL APARTMENT COMPLEX**  
**LOT 2 COOK MINOR SUBDIVISION**

**739 E JEFFERSON AVE**  
**HAYDEN, CO 81639**

**HORIZONTAL SCALE**  
0 20' 40'  
SCALE: 1" = 20'

**CONTOUR INTERVAL = 1 FT**

DATE: 12-04-2025  
JOB #: 2147-001  
DRAWN BY: WNM  
DESIGN BY: WNM  
REVIEW BY: FPSE

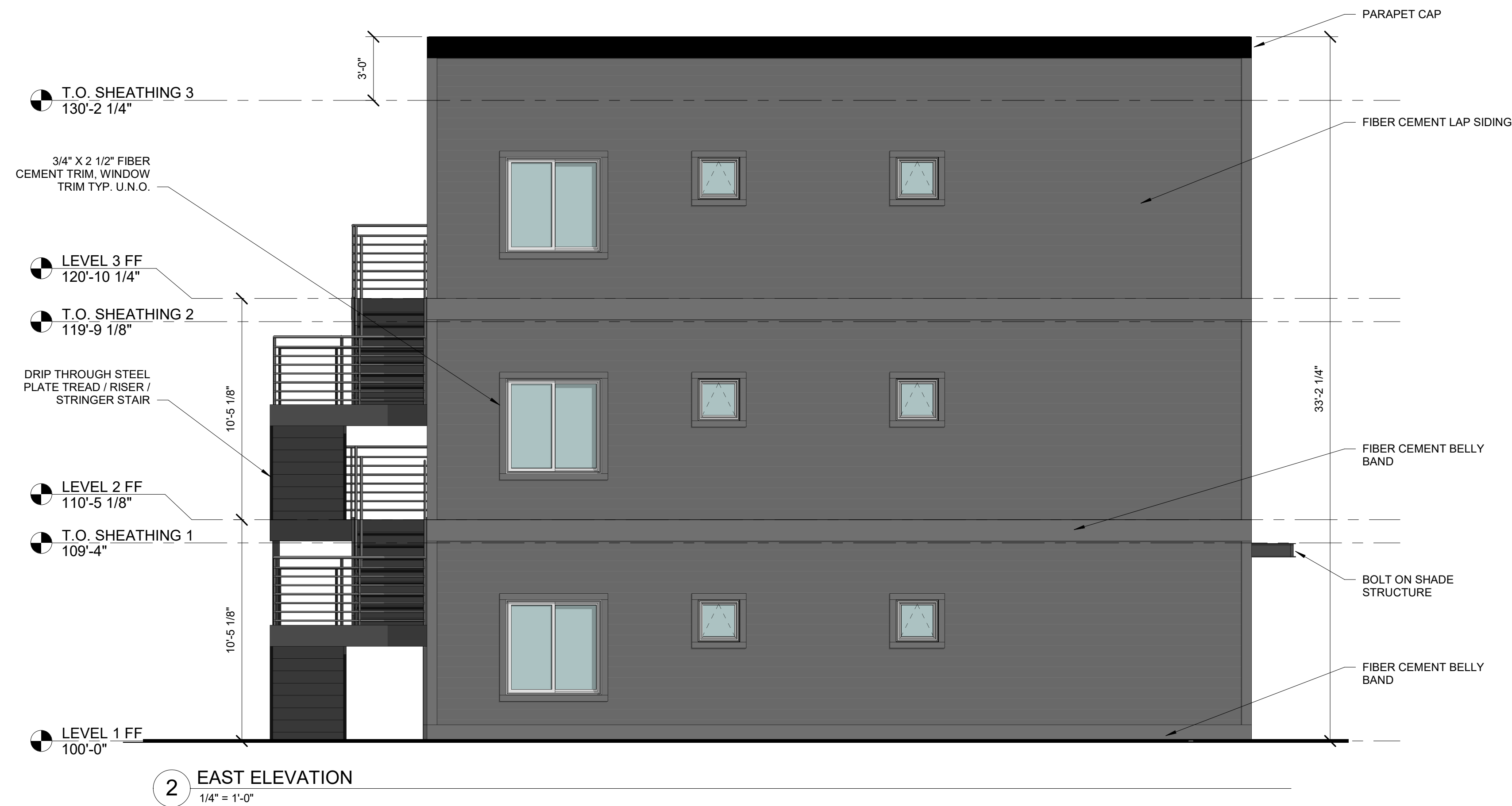
DRAWING:

**ALLEY PLAN & PROFILE**

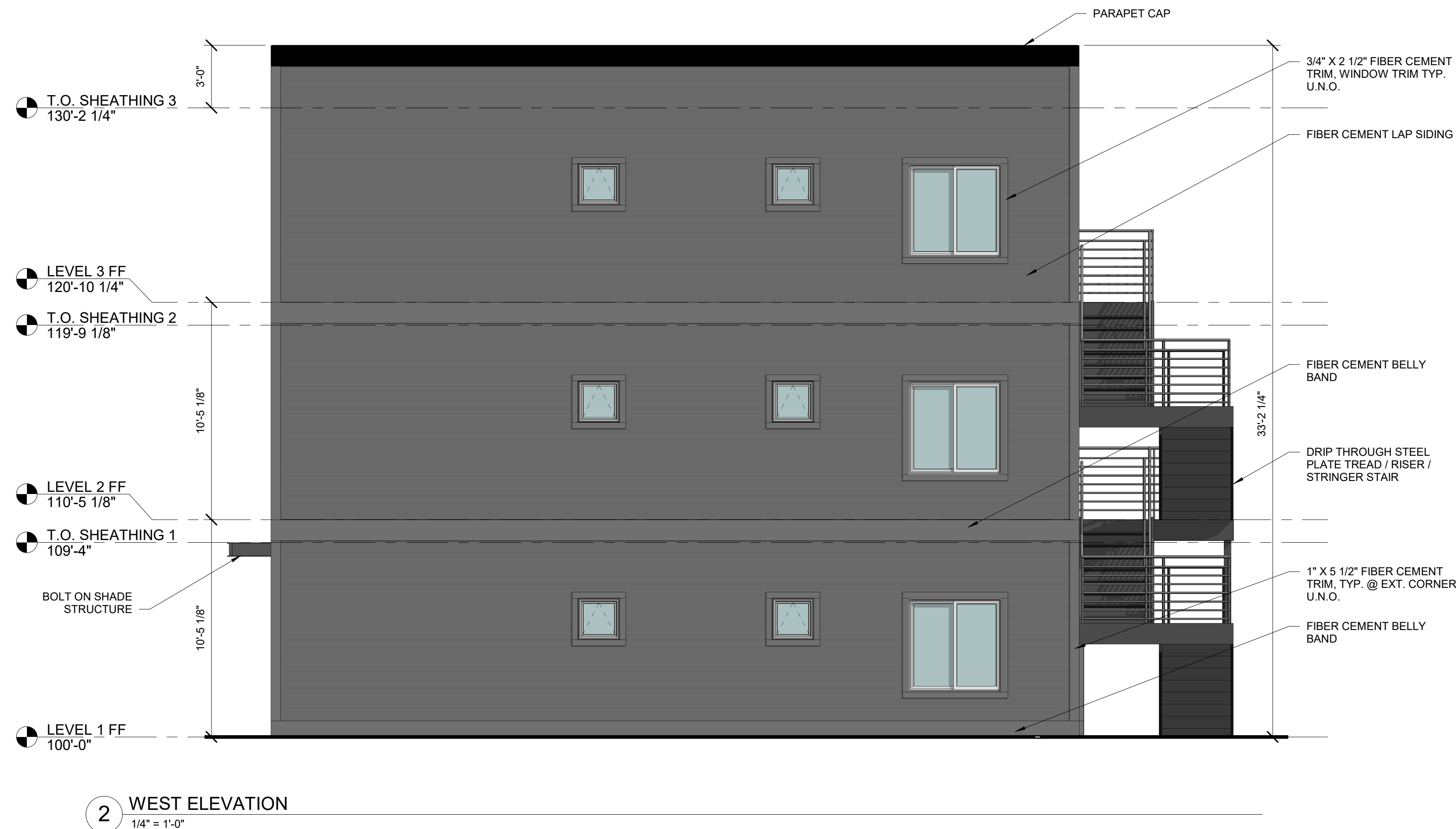
SHEET NO.

**C7**











739 E JEFFERSON AVE  
PRELIMINARY EXTERIOR LIGHTING  
12.27.24

PROJECT:

CONTACT:

CO . WY . MT . S. NV

20  
24



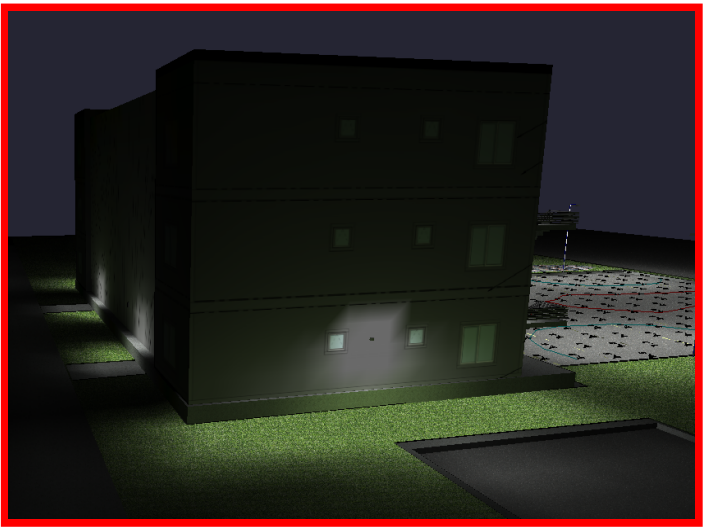
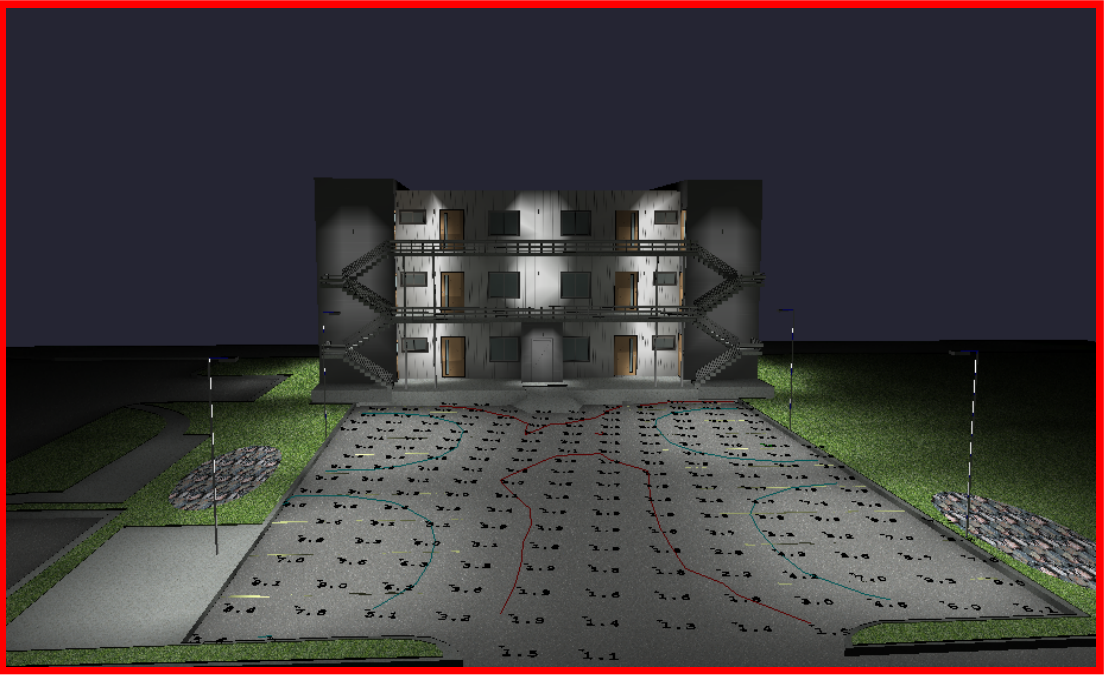
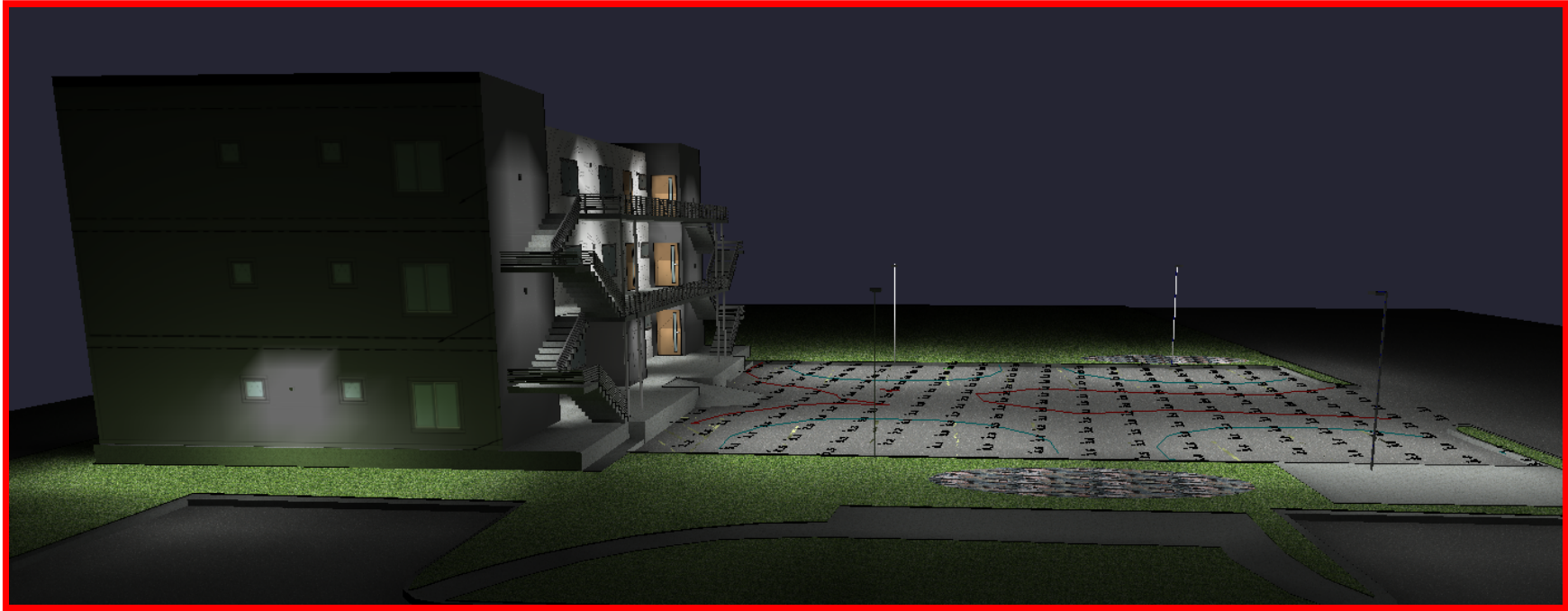


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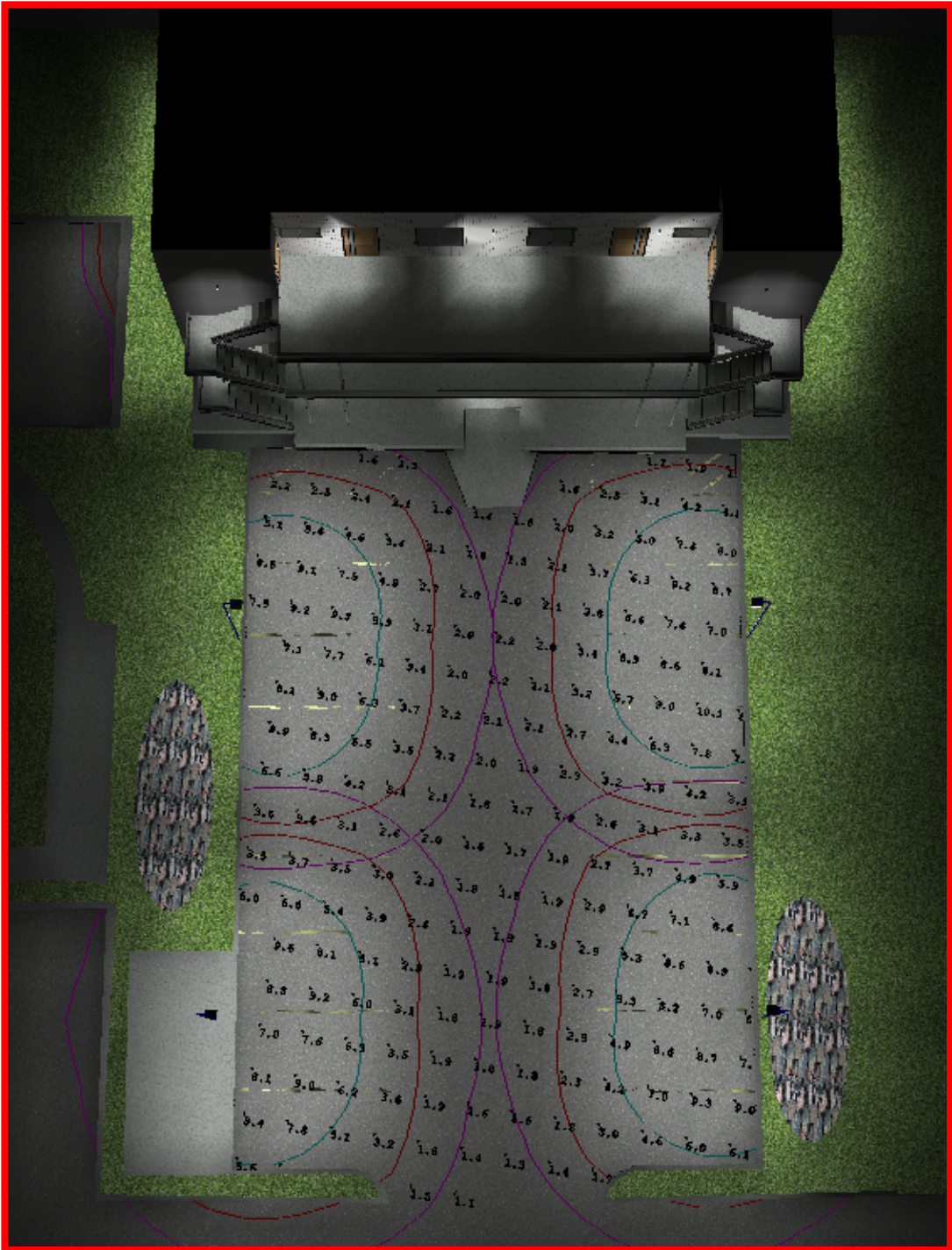
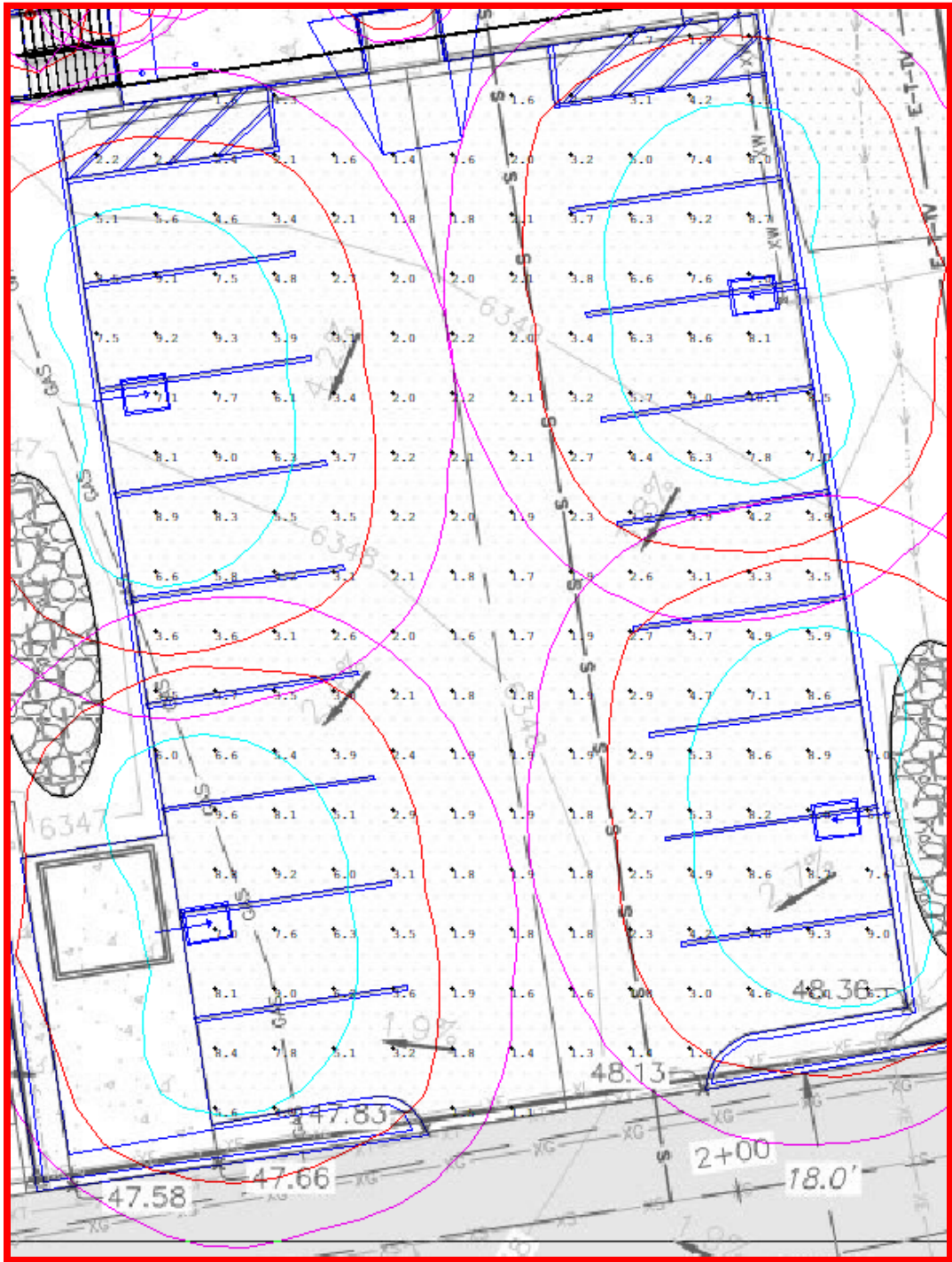


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Isolines

Value (Fc)

15

10

5

2

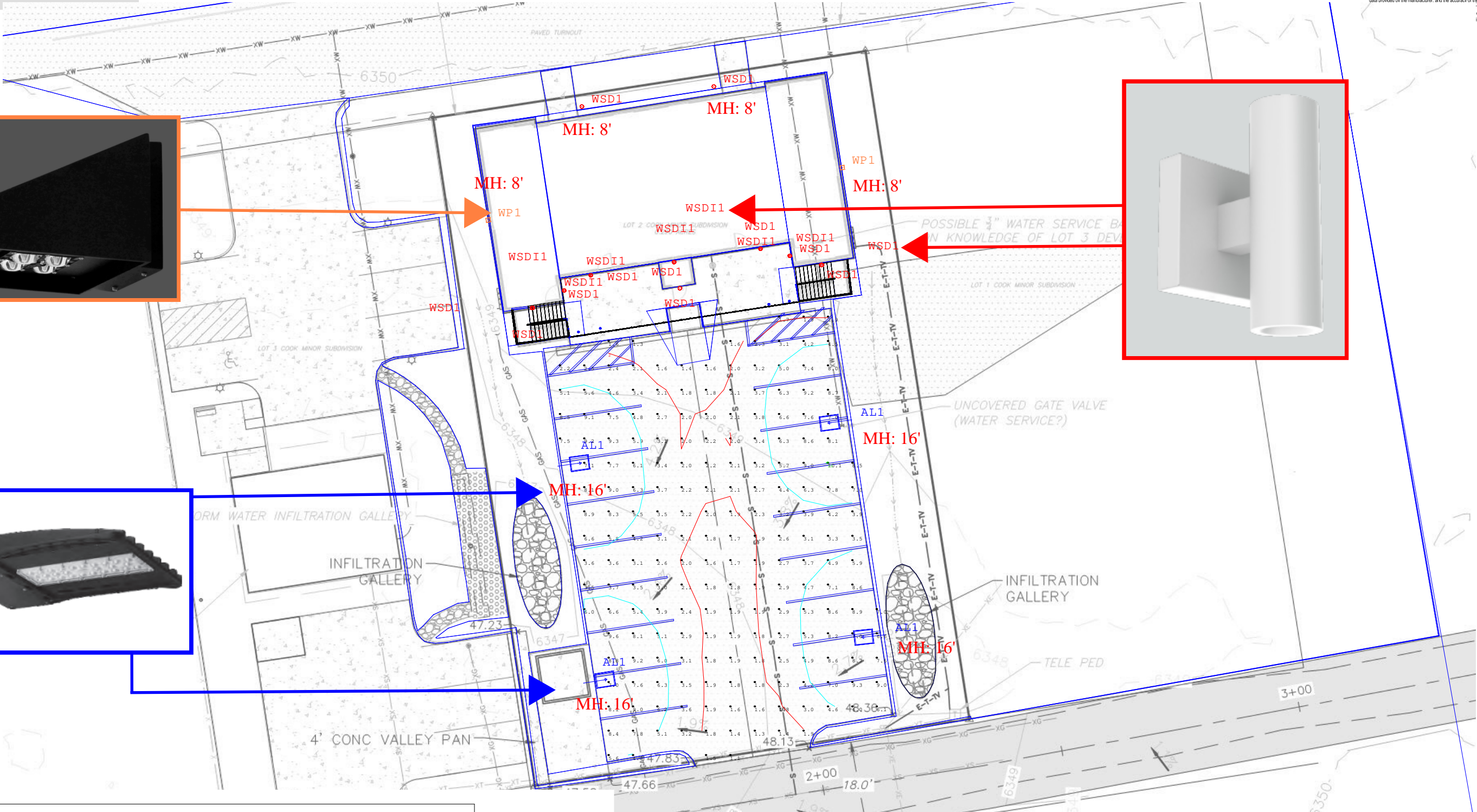
1

ColorType:

☒ Variable



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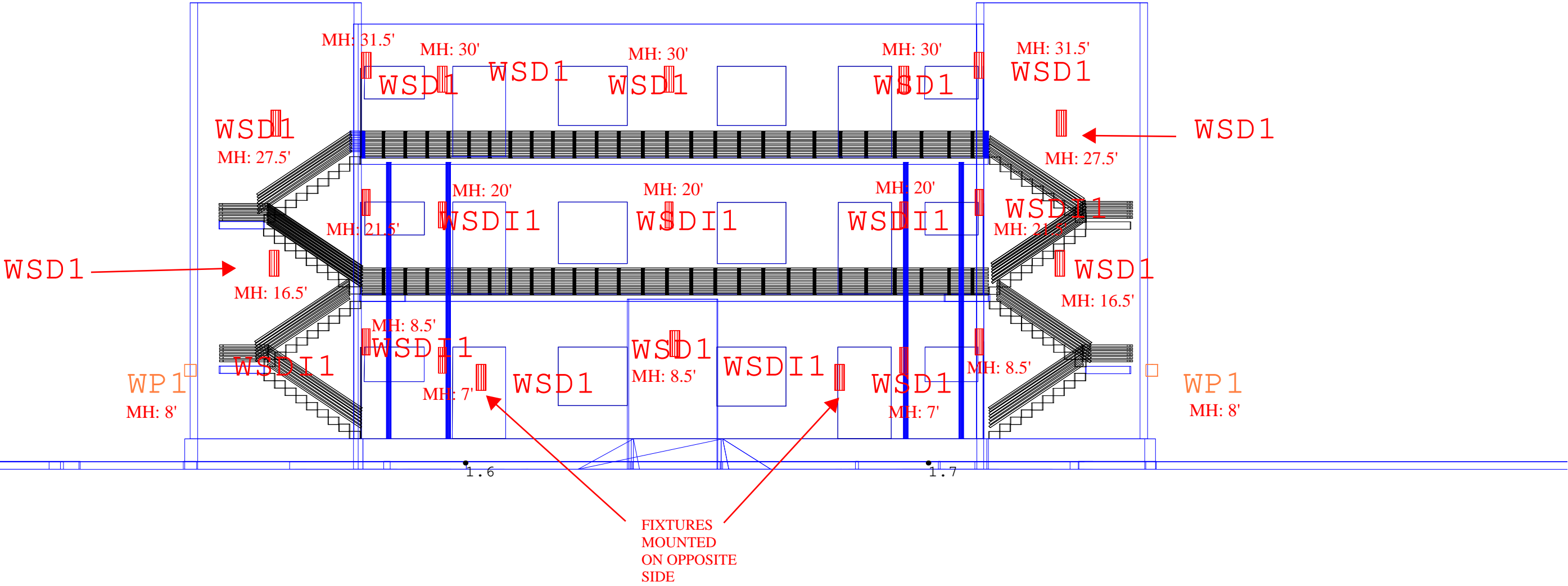


Numeric Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	4.41	10.1	1.1	4.01	9.18

Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Watts	Lum. Lumens	
	9	WSD11	SPECTRUM D/I CYL C0310UDXT-7L-MD-7L-ND-3	12.4	859	
	12	WSD1	SPECTRUM D CYL C0310XT-7L-30K-MD-DS10X-W	6.2	506	
	2	WP1	NLS WALL PACK TWA-T2-16L-1-30K7	56	6023	
	4	AL1	SLOAN AREA LIGHT LCG-SB-60W-U-30K-T3-XX-	60.03	8799	

LUMINAIRE SYMBOLS  
MAGNIFIED 3X

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Numeric Summary							
Label	Qty	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING LOT		illuminance	Fc	4.41	10.1	1.1	4.01

Luminaire Schedule					
Symbol	Qty	Label	Description	Lum. Watts	Lum. Lumens
⊙	9	WSDI1	SPECTRUM D/I CYL C0310UDXT-7L-MD-7L-ND-3	12.4	859
⊙	12	WSD1	SPECTRUM D CYL C0310XT-7L-30K-MD-DS10X-W	6.2	506
⊠	2	WP1	NLS WALL PACK TWA-T2-16L-1-30K7	56	6023
⊞	4	AL1	SLOAN AREA LIGHT LCG-SB-60W-U-30K-T3-XX-	60.03	8799

LUMINAIRE SYMBOLS  
MAGNIFIED 3X