



AGENDA

HAYDEN PLANNING COMMISSION

THURSDAY, FEBRUARY 27, 2025

6:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/89548614591>

Meeting ID: 895 4861 4591

HAYDEN TOWN HALL – 178 WEST JEFFERSON AVENUE, HAYDEN

REGULAR MEETING

1. CALL TO ORDER, MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. CONSIDERATION OF MINUTES
Review and Consider Approval of October 24, 2024 Planning Commission Minutes.
5. 4GM Construction, Inc. Shop; 402 Commerce Street, Lot 27 Valley View Business Park Major Site Plan
 - a) Public Hearing: Major Site Plan application for the 4GM Construction, Inc. Shop to be located at 402 Commerce Street also described as Lot 27, Valley View Business Park.
 - b) Review and Consideration of the Major Site Plan application for the 4GM Construction, Inc. Shop to be located at 402 Commerce Street also described as Lot 27, Valley View Business Park.
7. STAFF REPORT
8. ADJOURNMENT

NOTICE: Agenda is subject to change up to 24 hours before scheduled meeting. If you require special assistance in order to attend any of the Town's public meetings or events, please notify the Town of Hayden at (970) 276-3741 at least 48 hours in advance of the scheduled event so the necessary arrangements can be made.

The regular meeting of the Hayden Planning Commission was called to order by Chair Williams at 6:00 p.m. Other members present were Commissioner David "Mo" Demorat, Commissioner Carly Kelly, Commissioner Charlie Cook, Commissioner Ben Robbins, and Town Manager Mathew Mendisco. Community Development Director Tegan Ebbert, and Project Management Specialist Kevin Corona were also present.

Pledge of Allegiance

Chair Williams led the Pledge of Allegiance.

Approval of the Minutes

Chair Williams moved to approve the Planning Commission meeting minutes from June 13, 2024. Commissioner Kelly seconded; the motion was approved unanimously.

Golden Meadows/Deepe Property Sketch Plan (Subdivision) application of Outlot A, Deepe Minor Subdivision

Public Hearing: Golden Meadows/Deepe Property Sketch Plan, a subdivision of Outlot A, Deepe Minor Subdivision, a 164.68-acre parcel, into a residential development.

The public hearing commenced with a presentation by Town Manager Mendisco, who addressed several key topics related to the proposed development. He clarified the roles of decision-makers and the Town's public process, noting that misconceptions exist regarding the influence of town staff on private development decisions. Mendisco provided a historical overview of the parcel in question, explaining that it has been for sale for over eight years and is entirely a private development. He detailed the site's annexation into the Town in 1973, alongside properties now known as Golden Meadows and Lake Village, which was part of Golden Meadows Annexation Number 2. The council members at that time included Mayor Forrest Markle, Jack Berenberg, Tom Hancock, Darrel Hockett, Mario Ongaro, John Sundberg, and Everett Williams.

Additionally, Mendisco outlined the timelines for nearby developments, noting that Golden Meadows was developed in the late 1970s to 1980s, Sage Wood (the first phase of Lake Village) began in the early 2000s, and Lake Village itself commenced in the mid-2000s, with both nearing completion. He shared population projections from the state demographer, indicating that each housing unit is expected to generate an average of 2.2 residents, with a maximum density increase estimated at 1,700, dispelling rumors of a 5,000 resident increase. Mendisco emphasized that, as a private development, the developer is responsible for any necessary infrastructure improvements, such as water and sewer upgrades. He also mentioned the Town's impact fee for school expansion and noted that the Town's water and wastewater systems are currently operating at 40% capacity. The presentation concluded with an invitation for questions during the public comment portion of the meeting later in the evening.

The public hearing continued with a presentation from the Town of Hayden's Community Development Director, Ebbert, who discussed the

application process and provided an update on the project timeline. A community meeting was held on August 1, 2024, and the current meeting on October 24, 2024, serves as the Sketch Plan Application review with the Planning Commission. Although tentative, the next steps in the process include the Preliminary Plan (Subdivision & PUD) review with the Planning Commission, followed by the Preliminary Plan review with the Town Council, and concluding with a Final Plat and Final PUD review with the Town Council.

Following Ebbert's presentation, applicant Paul Wember presented the proposed development, which consists of three phases. He noted that the first phase is divided into two parts: Phase 1A, which is expected to feature residential cottages, triplexes, and traditional homes; and Phase 1B, which will include traditional cottages and triplexes with accessory dwelling units (ADUs) and storage barns. Wember emphasized that there are no plans for tiny homes in this project. He expressed his intention to listen to community ideas and explore potential benefits the development could offer.

Wember outlined the goal of creating entry-level housing for young families, allowing them to remain in the community and eventually transition to larger homes. He indicated that Phases 1A and 1B would comprise approximately 50-68 units, each around 950 square feet, featuring side-by-side yards and some shared green spaces. The anticipated price range for these cottages is between \$375,000 and \$450,000, providing an initial path to homeownership.

Additionally, Wember described medium lot sizes with ADUs as part of Phase 1, comprising approximately 51-60 units averaging 2,000 square feet, with an additional 500 square feet for the ADU. The estimated price range for these medium-sized lots is \$650,000 to \$750,000, designed as triplex units.

Wember also shared his vision for incorporating 5-20 acres of open space, including green spaces, connecting trails, community gardens, and storage for recreational equipment such as kayaks and snow gear. He concluded by emphasizing that the architectural design should harmonize with the natural landscape, favoring a natural aesthetic over fabricated materials.

Public Comment

Public Comment #1: Jan Sauer, 289 Harvest Drive: Jan expressed concerns about the proper use of sidewalks, connectivity on Poplar Street, and barking dogs, particularly if we increase density with the proposed development.

Public Comment #2: Alicia Mangold, 139 Harvest Drive: Alicia expressed concerns regarding the density of the proposed project, stating it does not

complement the heritage of Hayden and is not the appropriate size for this time. She emphasized that Hayden is a community where neighbors decorate their yards, children play in each other's yards, and dogs can roam securely within fenced areas.

Alicia articulated that the American dream of homeownership is not just about having a roof over our heads; it is about creating a safe environment for families to grow and personalize their indoor and outdoor spaces. She voiced her opposition to the shared spaces proposed by Wember, mentioning that people often retreat to their homes to escape the chaos of traffic and strangers.

She continued by stating that Hayden's agricultural heritage is rooted in personal connections to the land, and everyone should have access to private areas to carve out their own space in the Yampa Valley, which makes Hayden the heart of the valley. Alicia argued that residential single-family homes offer greater opportunities for ownership and belonging, which are essential.

She noted that Phase 1 of the development deprioritizes private yards in favor of shared lots, which would drastically alter the character of Hayden, replacing custom home features with impersonal urban sprawl. Alicia referenced Prairie Run and Main Street apartments, which were approved by the planning commission, stating these developments cater to individuals, couples, and workers but do not address the needs of families seeking space.

She highlighted that these two developments will introduce 240 yard less units to the town, while the community needs more opportunities for homeownership. Alicia cautioned against repeating the mistakes of neighboring towns that have created divisions between owners and renters. She concluded by submitting a public petition signed by 125 individuals opposing multi-unit dwellings in Hayden.

Public Comment #3: Jeff Larson, 42820 CR 52: Jeff raised several questions regarding the proposed development in light of the power plant closing. He expressed concern about how the development will be powered, especially if the solar project does not receive approval. Jeff also voiced worries that the grocery store will become overcrowded and noted the already heavy traffic on the highway, asking where all the additional vehicles will go.

He pointed out that if our water and wastewater facilities are operating at only 40% capacity, it raises questions about who will bear the cost of accommodating the new development in our water system. Jeff expressed

that he believes neighbors do not want their taxes to increase again, stating, "Who is supplying the money? Because I am not."

Public Comment #4: Madeline Landgren, 370 Lakeview Road: Madeline expressed her gratitude for the times the trails have been groomed and for the welcoming nature of her neighbors. While she had hoped the area would remain undeveloped so she could enjoy the view from her backyard, she acknowledges that development was always a possibility. Rather than opposing any changes, her goal is to understand how to advocate for a development that makes sense for the community.

She noted that the cost of living has increased due to a lack of supply in the housing market. Madeline feels fortunate to have purchased her home 10 years ago when prices were more reasonable. Although she appreciates the increase in her home's value, she realizes that if she chose to sell, there would be no suitable housing options available for her, forcing her to leave the community.

Madeline emphasized her desire for Hayden to remain affordable and accessible, highlighting the importance of providing young families with the same opportunities she had. She wants to ensure that local teachers, public servants, and business owners have a place to live. While she would prefer not to have a neighborhood in her backyard, she understands that reality is imperfect and wants to be involved in the process to ensure transparency at every step.

She appreciates the educational aspect of this project and mentioned the existing walking trail connected to Lake Village and Sagewood, hoping it will continue into the new development. Madeline also expressed her desire to preserve the sledding hill and ensure that any new entrances are designed to minimize traffic in the current neighborhood. She agrees on the need for sidewalks and open spaces and has mixed feelings about the size of the proposed homes, but she values the opportunity for housing progression. However, she does have concerns about potential infrastructure costs.

Public Comment #5 Tony Sauer, 289 Harvest Drive: Tony, a resident of Hayden since 1995, expressed concerns about the changes he has witnessed in his neighborhood over the years. He raised issues regarding property taxes and questioned who is responsible for maintaining the streets, particularly in terms of snow removal for the larger area. He noted that the Town must use its own tax revenue to plow these streets, which he feels is unfair to both his taxes and those of other town residents, especially for an area that isn't part of the town yet.

Tony also addressed the necessary upgrades at the intersection of Poplar Street and Highway 40, warning that the proposed development will lead to increased usage of this intersection, resulting in unbearable wait times. He asked who would be responsible for the utilities extending from the current system to the new intersection, inquiring if the developer would cover these costs.

Additionally, he expressed concerns about the sewage and water systems, questioning how the town managed to exit its previous water system 30 years ago while only utilizing 40% of the current capacity.

Comment #6: Dana Haskins, 575 W Washington: Dana expressed concerns about traffic on Highway 40, particularly at the intersections of 3rd Street and Poplar Street, especially with the new Main Street apartments. She inquired about who will be responsible for the Homeowners Association (HOA) that will maintain the roads in the new developments and manage snow removal, questioning whether this HOA might be based out of state.

Dana referenced a past housing study, noting that while she didn't have the exact numbers, the total number of living units needed was estimated to be around 125 to 150. She pointed out that with the addition of Main Street Apartments and Prairie Run, these housing needs have largely been met. She emphasized the need to balance development with the needs of Steamboat Springs, highlighting that while there is a demand for housing, the power plant's future remains uncertain. Additionally, she mentioned that there are currently empty lots in Lake Village that have yet to be developed.

Public Comment #7: Dan Faucett, 335 S Poplar: Dan expressed disappointment that there was no large map available, as he struggles to understand how the proposed development will fit in with the town and the Lakeview development. He noted that the town has stated our water and wastewater capacities have remained at 40% for the last 20 years, despite experiencing multiple years of water restrictions. He emphasized the need for increased access, as this development will significantly increase the size of the town over time. Dan warned that this growth will likely lead to traffic disasters on Poplar Street.

Public Comment #8: Sarah Davidson, 503 West Jackson: Sarah began her public comment by sharing that she is new to town, having grown up in Kansas. She expressed that living in a place like this is a dream come true for her. Growing up, she never had opportunities like this because developers are not lining up in Kansas. She hopes the community recognizes how fortunate we are to have people wanting to live here and

developers eager to build. This is a blessing, and she hopes the residents of Hayden can see it that way.

That said, she emphasized that this comes with responsibilities. She urged residents not to let "perfect be the enemy of good." The fact is, Hayden needs affordable housing options for multiple income levels. She pointed out that earlier someone mentioned the grocery store, asking, "Who can afford to live here and work at a grocery store?" She noted that Zillow shows how unaffordable it has become to live in Hayden, with home prices now reaching \$1.25 million.

While she may not want to live in a tri-plex or share walls, she appreciates that there are affordable options being proposed. She also raised concerns about infrastructure, stressing its importance but noting that it won't be an immediate issue; there's time to address it. She mentioned that Wember has received a lot of feedback and that they have the opportunity to work on solutions early on.

Finally, she acknowledged that while many people love having yards, they require more water and maintenance, which means there's always a trade-off. Everything comes with a price, and although we all desire big houses and large yards, the residents of Hayden need a place to start. She appreciates Wember's plan and looks forward to seeing how it develops.

Public Comment #9: Burns Davison, 932 Dry Creek Village: Burns shared that he moved to Hayden with his wife 13 months ago but has loved the Yampa Valley since he was 14. Originally from Des Moines, Iowa, he has lived in several places, but Hayden is now his home. He expressed concerns about local traffic and noted that the town is constrained by the Colorado Department of Transportation, as it is a highway-based community.

Burns highlighted challenges related to the intersection of Poplar Street and US Highway 40, emphasizing that these are significant impediments the town must address. He mentioned that Dry Creek Village has a lift station funded by the developer until enough residents can justify its absorption into the town's tax base.

He thanked Paul Wember for his proposed development, progression, and vision, echoing the sentiment, "Don't let the perfect be the enemy of great." Burns emphasized the need for more housing inventory, stating that having options for families to enter the housing market is essential for community growth.

He pointed out that without a sufficient population, local businesses, such as restaurants, cannot operate seven days a week due to a lack of staff and economic support. Burns clarified that concerns often voiced about restrictions are primarily conservation-related, not capacity-related.

He urged the community to engage in dialogue to improve understanding and shape developments that benefit everyone. Burns expressed his support for the proposed development, reiterating that he views it as a positive opportunity for the community.

Public Comment #10: Karen Hughes, Address Not Listed: Karen introduced herself as a representative of the Holderness Family Trust, fifth-generation landowners in Hayden, and owners of a 51.5-acre infield parcel designated as the town's top priority in the master plan. This parcel comes with its own water rights and is ready to be developed as part of the town.

She expressed concerns regarding the proposed rezoning of 175 agricultural acres by the Wember Group. Karen thanked Alicia Mangold for bringing this issue to light on the Hayden Community chat on Facebook. She emphasized that while growth and development are essential for Hayden's future, they must be managed in a way that reflects the town's character, needs, and capacity for sustainable growth.

Unfortunately, she believes the current proposal presents challenges not in the best interest of the community. The Holderness Family Trust has a long history of supporting Hayden, including donating land for parks and schools, always prioritizing the town's well-being. They have honored a collaborative approach to growth that respects Hayden's history and supports proper future development.

Karen stated that tonight's discussion is about a sketch plan and a land use application. The applicants are Albert and Kathy Deepe, who have been beloved members of the community for many years. She described the property listed in the MLS for \$2,500,000, which consists of 164 acres of rolling development land adjacent to the Lakeview subdivision. This parcel has multiple access points, including Hayden Parkway to the south and Harvest Drive to the north, and is currently zoned as open.

According to the Hayden master plan and future land use designations, this area is classified as agricultural, with a designation for low-density residential use. She highlighted that the discussion is not about annexation from years past, but rather about changing agricultural land to a Planned Unit Development (PUD), which would include homes, condos, and townhomes, as well as residential, commercial, and industrial elements.

Homeowners in a PUD are typically required to belong to a homeowners association (HOA).

Karen raised concerns about who would manage the development for the next few years, citing her own difficulties in finding a management company for six townhomes. She concluded that for this land to be zoned as a PUD, there must be an approved PUD plan specifying permitted uses. At this point, Karen was asked to conclude her comments as she had exceeded her allotted time for public input.

Public Comment #11 Shari Copeland , 131 S 5th street: Shari expressed her support for the project, stating that she thinks it is a great initiative. However, she wished it had been proposed before the last two major projects, which she feels are not beneficial for the town. She noted that there was little discussion regarding the Mainstreet Apartments and Prairie Run, and she did not hear about them until recently.

Shari raised concerns about the auxiliary units (ADUs), referencing Community Development Director Ebbert's estimates, which indicated a potential increase of 900 residents. She explained that if each unit has only two occupants, that could lead to an additional 1,800 residents, significantly impacting our water and sewer treatment capacity. She questioned how many people would live in the ADUs if they can be rented, mentioning her sister-in-law's recent request to create a rental unit, which was denied. In contrast, she noted that the Mainstreet Apartments are listed on VRBO.

She questioned the fairness of the regulations, asking why one person in downtown Hayden cannot rent their unit while auxiliary units in a subdivision are permitted, especially when the area is already anticipated to have many cars and residents.

Shari acknowledged the challenges posed by CDOT and the intersections at Highway 40 and Poplar Street. However, she pointed out that the issues extend beyond that intersection, affecting the entire roadway. She questioned whether taxpayers would be expected to cover the costs of necessary repairs and upgrades.

While she believes the project is a good idea, Shari suggested that it should be downsized, advocating for more single-family lots. She noted that these could still be sold at a good price in the current market. She argued that if higher density lots are needed, Prairie Run is available for that purpose.

Shari concluded by emphasizing the importance of developing single-family homes with yards and adequate parking, given the lack of on-street

parking in Hayden. She expressed concern about where vehicles will park if garages are not provided.

Public Comment # 12 Ericka Lucas, 306 Harvest Drive: Ericka expressed her concerns regarding traffic on Harvest Drive, particularly for families with small children who use this route to school. She noted the lack of sidewalks, which exacerbates safety issues.

Additionally, she highlighted challenges faced by first responders, mentioning that multiple ballot measures for the fire station have failed. She emphasized the need for maintenance, new equipment, and increased staffing. The police department is also struggling, currently having four full-time positions vacant that cannot be filled.

Ericka raised concerns about the water system, questioning who will manage its maintenance, especially given that the budget is already \$7,000 over. She pointed out vacancies among local teachers, noting that prior to the school year, there were unfilled secondary-level teacher positions. She expressed worry that if the population doubles, there won't be enough teachers, which would negatively impact the education of local children.

Finally, she questioned how the current chair of the planning commission can serve as a realtor in Hayden, raising concerns about potential conflicts of interest.

Public Comment #13 Michael Chesna, 433 Clover Circle, stated he has been living in Hayden since 2017 and works in construction. He expressed that some of his concerns, such as traffic increases and necessary infrastructure improvements, have already been addressed.

Michael argued against the speculation that the additional residences will keep the population below 4,000. He shared his experience working at Sunlight in Steamboat, where he observed numerous double- and triple-parked cars in winter due to heavy snow. He noted that there are instances where six people are living in a unit designed for two, emphasizing that infrastructure must be a top priority. He expressed concern that if infrastructure becomes overloaded, the community could face significant issues.

He does not believe the occupancy forecasts are accurate and highlighted the challenges of living on 0.19 acres, especially in winter when on-street parking is limited. This challenge is compounded by the presence of recreational vehicles. While he thinks the Toy Barn concept is a good idea, he raised concerns that accommodating even one dirt bike or ATV for an

occupant may require Wember to build additional storage facilities within the development.

Michael wanted to voice his opinion as a resident on a 0.19-acre lot, noting that he finds the proposed lot sizes of 0.2 acres to be minimal. He feels he barely has enough space as it is. He expressed his understanding of Wember's goals and appreciates the information provided, but he leans more toward advocating for single-family homes. He believes that fewer units would mean more usable space for equipment and vehicles.

Public Comment #14 Courtney Vantubbergen, 189 S 6th Street

Courtney shared that she moved to Routt County in 2002 and to Hayden in 2019. She expressed concerns about the proposed development, particularly regarding the density and the feeling of overcrowding in the new units. While she enjoys living in her townhome and appreciates her neighbors, she is not in favor of having a homeowners association (HOA) or sharing communal spaces.

She emphasized that while the idea of shared spaces for starter homes is appealing, the realities of snowfall and the amount of outdoor equipment families tend to accumulate raise concerns about fitting everything into the proposed space. She also noted that many of these units could end up as rentals.

Currently working in HOA management in Steamboat, Courtney reported that there are numerous rental units on the market that remain vacant, including an entire building. She expressed that while there is a perception of needing more housing, much of the problem stems from high costs driven by inflation.

Courtney cautioned against creating homes that would lead to transient neighbors, citing issues in her own neighborhood where some apartments are overcrowded. She also raised concerns about the strain on local services, including the police force and snow plow drivers, noting that the infrastructure may not be able to keep pace with development.

On a positive note, she appreciates the proposal for natural outdoor play spaces for children, which she values as a mother. She believes that the first phases of the development seem reasonable and suggested including a community garden. However, she ultimately feels that Hayden does not require such an extensive increase in housing.

Public Comment #15 – John Yager, 40155CR 52: John began by stating that he lives on Wolf Pass and echoes many of the points already raised.

He highlighted a specific concern regarding the MS4 system, which failed during the significant flooding in the spring of 2022. He noted that Public Works had to obtain warrants from the State of Colorado to operate the wastewater plant.

With the new developments, including Wember's proposal, he asked what plans are in place to address these issues. He also expressed concerns about the implications of increasing infrastructure and staffing needs, particularly for EMS responders. John cautioned that this could lead to another tax levy, which would be catastrophic for small businesses.

While he understands Wember's goals, including potential retail space in phase three, he emphasized the importance of keeping the tax burden low for existing businesses in the community.

Public Comment #16 Jennifer Valora, 125 Harvest Drive: Jennifer expressed her biggest concern about traffic on Poplar Street, noting the significant pedestrian traffic in front of her house. She highlighted issues with vehicles exceeding the speed limit, the presence of wildlife, and the lack of sidewalks or designated paths. Her primary concern is ensuring safe access for people traveling to the nearby school.

She mentioned that there is a pathway behind her house, but there are reasons people do not use it. Additionally, she raised concerns about the Poplar Street bridge, where cars continue to speed.

While Jennifer is not opposed to the development, she feels that the developer needs to consider the community's needs and upgrade the surrounding infrastructure accordingly.

Public Comment #17 Casey Bowman 356 Lake View Road: Casey, a resident of Hayden for 11 years, acknowledged that growth is inevitable but expressed a preference for more single-family homes rather than multi-plex units in the proposed development. He shared concerns about the impact of traffic and infrastructure, particularly in the area between Poplar Street and Harvest Drive, where construction is currently underway. He believes that this development phase will disrupt existing neighborhoods and families.

Additionally, Casey raised concerns about the snow and winter conditions in the area, emphasizing the importance of addressing safety issues before construction begins. He specifically requested that sidewalks be installed prior to any development to ensure safe passage for pedestrians and

cyclists. He expressed a strong preference for these plans to be made in advance, rather than retroactively.

Finally, Casey noted that traffic congestion could become a significant issue, particularly along Highway 40 into the neighborhood, especially through the school zone, with no alternative routes available. He stressed the need for careful planning to avoid potential bottlenecks in this area.

Public Comment #18 Sherry Larson 38475 County Road 53: Sherry explained that she has a unique situation on County Road 53, which backs up to the lake area. She expressed concerns because she needs to back out of her driveway, and the current traffic situation is hazardous due to speeding. She feels overwhelmed by the thought of the increased traffic that the new development will generate, as she will now have to navigate more vehicles every day when leaving and returning home for work.

Sherry supports the idea of smaller density for the property. She values the lower density, which is one of the main reasons she chose to live in the area. She moved out of Steamboat to escape the higher density of condo developments. She enjoys having an acre of land with a garden, chickens, and ducks, and for her, living in Hayden is "the dream." She hopes others can experience the same lifestyle.

Sherry also mentioned that she is technically not within the Hayden city limits; she lives in rural Routt County. She is concerned about potential interruptions to her water service, as she is at the end of the water line. She worries about how the proposed development and any necessary infrastructure changes near her property could affect her service in the future.

Public Comment #18 Lacey Williams 301 Lilac Court: Lacey acknowledged that development is inevitable, and while she appreciates certain aspects of Wember's proposed development, she would like to echo a sentiment heard throughout the meeting. She would like to see more single-family homes with yards, as that is the character of her neighborhood. She mentioned that families in tonight's meeting know her kids, who often play basketball on her hoop. When they aren't at her house, they play at a neighbor's yard, and she wants to maintain that sense of community and neighborhood feel.

Lacey also expressed concern about winter street parking, which makes her nervous. With cars parked along the street, it's difficult to see small children, and drivers often zoom around parked cars, creating a dangerous situation. She urged Wember to consider a long-term vision for parking and how to manage the increase in vehicles on the road. While she

believes the project is a good idea overall, her main concern is ensuring safe spaces for children to play and interact in the neighborhood.

Public Comment #19 Brandon Salveson, 351 County Road 53: Brandon introduced himself to Paul Wember, stating that he's met him once before, and mentioned that Paul is "on the chopping block" in this meeting. He offered to review the points that have been raised so far. He acknowledged that he would try to keep his personal opinions and political views in check, though he admitted they might come through occasionally.

His first question to everyone in the room was: *What does this community mean to you?* He asked everyone to reflect on how long they've been here, what changes they've witnessed, and whether the improvements made so far have been worthwhile or sufficient for the needs of the community. Brandon expressed the belief that Routt County and Steamboat Springs have forgotten or neglected to properly address the needs of Hayden and Craig in terms of growth capacity. He pointed out that there's still a lot of work to be done, especially when looking at the current developments. He noted that many contractors working on these projects are from out of state, and that money isn't staying within the community.

Brandon suggested that a better first step for developers would be to hire local service providers—such as drywallers or excavators—before bringing in outside contractors. He emphasized that Wember should consider how to make this development contribute to the local economy and invest in building up the Hayden community.

He then raised concerns about the state of local infrastructure, particularly with regard to roads. Brandon acknowledged that he might not be addressing the right people at the moment, but he stressed that the highway is in terrible shape, with people showing no respect for agricultural workers, semi-trucks, or other drivers. He cited an incident where a police officer's attempt to pull someone over led to more dangerous maneuvers and a higher risk than the person they were trying to stop. He noted that having to skip over three cars to pull someone over is more hazardous than the speeding or seatbelt violations the officers are trying to address.

He also pointed out issues with the local airport, specifically the lack of proper turning lanes and the increased speed limit of 65 mph. He expressed concern that if there's a snowstorm and an 18-wheeler is behind a car that suddenly has to brake, it could lead to a serious accident. He criticized CDOT for managing Steamboat Springs but neglecting Hayden, especially when it comes to snow plowing, which only happens when it's convenient for them.

Brandon acknowledged that many of these concerns are unrelated to Wember's proposed development, but emphasized that the growth it would bring exacerbates the existing issues related to infrastructure, such as roads and water systems. He highlighted the town's vulnerability to water restrictions, urging that anyone who denies this should show the relevant documentation.

Having lived in Hayden since 2008, Brandon reflected on the tough economic times when he first moved here, during the housing market collapse. He shared that he owned his home for 10 years, unable to sell it for the price he paid. He mentioned seeing many people lose their homes and stressed the unpredictability of the market. He noted that it's possible for interest rates to rise again, leading to further economic difficulties. Even in Steamboat Springs, he has seen \$10 million projects come to a halt due to economic downturns.

Virtual Public Comment #20: Angela Modesitt and Jeff Modesitt, 326 Honeysuckle Drive: Angela acknowledged that there have been concerns raised about the bridges, particularly following the recent flood, which resulted in road closures. Her primary concern is emergency access—specifically, how police, fire, and emergency services can respond when there is only one access route. She asked what the solution will be for ensuring that emergency services can reach the area efficiently as the population grows. Angela expressed support for larger lots and single-family homes, and she appreciated the consideration given to open spaces in the proposed development.

Jeff then introduced himself and agreed with Angela's concerns. He emphasized that doubling the size of the town without a secondary access point—especially with phases 1, 2, and 3 of the development—seems problematic. He believes it would be difficult to manage a development of that size with just one access point. Jeff stressed the importance of adding secondary and tertiary access routes to ensure safe and efficient movement, particularly in emergency situations.

Roundtable

Commissioner Cook acknowledged that many valid concerns had been raised, but he believes that most of these concerns will be addressed in the next phase of the project, as this is still in the very early stages. He expressed eagerness to see the answers to these questions as the process moves forward.

Commissioner Robbins asked a question regarding the Planned Unit Development (PUD). He noted that it appears the 6,000 square-foot lot size is the minimum standard without a PUD. However, the current plan does not include any lots of that size. Additionally, he pointed out that the density threshold for under six units per acre seems to be met by the current plan. He asked, "What is the purpose of the PUD in this case?"

Community Development Director Ebbert provided clarification. She explained that the 6,000 square-foot minimum lot size is part of the standard zoning code. The PUD, however, serves as a mechanism to allow for smaller lot sizes, which in turn enables the creation of more open space. She further explained that the reason a PUD is necessary for this project is that larger lot sizes would reduce the amount of open space the applicant aims to preserve.

Commissioner Kelly asked about the educational component, specifically regarding the land or fee-in-lieu options. She inquired if there's an idea yet of which option might be chosen for the second school site dedication.

Community Development Director Ebbert responded that it is not yet determined. The school district is a referral agency for residential development applications. They will evaluate the options and inform us of their preference—whether they would prefer funding to purchase property in a more suitable location, or if they find the land available through the development to be adequate for a school site dedication. The decision will depend on the project specifics, the location, and the size of the land involved.

Town Manager Mendisco: addressed a question regarding water usage. He explained that when he began working for the town about eight years ago, there were no water restrictions in place; however, they are now enforced.

He clarified that the town has never fully utilized the water storage available in Stagecoach, although there was one year when the town came very close to needing it. Fortunately, due to rainfall, the town was no longer required to draw from the storage.

He further explained that, under current state regulations, municipalities in Colorado are required to have a water conservation plan. Regarding land

development, he clarified that the town's land use code offers two options for raw land development:

1. If the developer has access to enough water, they can proceed with the development.
2. If the developer does not have enough water, they may pay a fee in lieu, allowing the town to secure the necessary water resources.

The town will notify developers of the water fee, ensuring that water usage concerns are addressed effectively

Chair Williams also wanted to address a question regarding short term rentals.

Community Development Director Ebbert clarified that the town's code permits lodging and hotels in the commercial and central business district. However, if someone resides in a residential zone, the property must be their primary residence. She noted that some residents, such as snowbirds who leave for about four months at a time, often hire property managers to manage their properties in their absence.

Additionally, lodging tax is required for short-term rentals. This provision was added to the town's code in 2022 after going through a public approval process. She also mentioned that residents who have developed accessory dwelling units (ADUs) are permitted to offer short-term rentals in these units, as this is also allowed under the code. It was further clarified that anyone engaging in nightly rentals must remit the lodging tax.

Chair Williams mentioned street maintenance was a comment that kept coming up and brings concern to the public.

Town Manager Mendisco clarified that collector streets would be dedicated to the town. However, using the Redstone Apartments as an example, it was noted that while this is a smaller development, the streets within the plat are not maintained by the town. Maintenance is the responsibility of the developer and the property's management team. Additionally, if there are residential streets that are too small, maintenance would be handled by the homeowners association (HOA).

Chair Williams questioned if the proposed streets have a smaller right-of-way (ROW). Applicant Paul Wember responded This is part of the process they will adhere to the 60FT ROW and the Town's standards for roads.

Chair Williams noted the concern for Poplar Street Bridge and Highway 40. Community Development Director Ebbert mentioned that the traffic impact

analysis will be submitted to CDOT for review. CDOT will assess the traffic study and has a threshold: if traffic at any intersection increases by 20%, an access permit is required, which triggers necessary upgrades based on CDOT's standards. For example, the Main Street Apartments project required the addition of turn lanes. CDOT will review the analysis based on the three phases of development.

She clarified that the developer will not complete all three phases at once due to absorption issues with housing. While some have suggested that the town doesn't need this much housing immediately, she acknowledged that, although current demand may be lower, the review must consider the full build-out. CDOT may determine that improvements are needed on 165 acres or other areas to accommodate the full development. Similarly, the town may require infrastructure upgrades to support the project.

She emphasized that the development cannot be considered piecemeal. The town now understands the importance of reviewing projects holistically, rather than focusing on small portions, like just 40 lots at a time. It is important for the town to understand the full scope of the project from the beginning, which is why the traffic impact analysis is essential. This analysis helps identify the necessary intersection improvements and ensures infrastructure can accommodate the entire build-out.

Town Manager Mendisco mentioned that the traffic study examines all the details regarding the streets, and both the Public Works department and the engineering team also review the findings. Offsite improvements are also considered in the analysis. All improvements will be prioritized, with sidewalks, water, and sewer typically being built upfront. However, regarding a collector road in phase 3, it may not be necessary to build it right away if it will remain unused for 20 years. Often times traffic is priority.

Community Development Director Ebbert also mentions that if the developer presents that they would like to add a park to their development to be open to the public the Town will evaluate and see if they have capacity to take that on for maintenance and ownership.

Chair Williams noted that the concerns raised by Erika Lucas regarding the background of Planning Commission board members in real estate and their current status in the industry was addressed. Chair Williams, with full transparency, mentioned that she is a local broker, an appraiser, and serves on the Board of Assessment Appeals. Commissioner Kelly is also a broker, and Commissioner Robbins is an architect.

Town Manager Mendisco added that a conflict of interest would only arise if any board member had a financial interest in the development itself, which none of the members do. He further noted that it is quite common

for board members with such backgrounds to serve on planning commission boards. There can't be any predictions of future conflicts of interest. He will be happy to follow up with the code and with the Town Attorney's formal communication.

Commissioner Kelly mentioned that it is true that single-family homes have become inflated in price, making it increasingly difficult for families to secure a starter home. Although multi-family homes are not always favored, she views the three-plexes and cottages as a smart solution to the housing issues the town is facing. These types of developments also foster a sense of community for young professionals and families looking to put down roots.

Commissioner DeMorat also agreed with the statement, noting that young professionals are currently unable to afford to enter the housing market in Hayden.

Motion

Commissioner Cook moved to approve the Golden Meadows/Deepe Property Sketch Plan, a subdivision of Outlot A, Deepe Minor Subdivision with the following findings of fact and conditions of approval:

Findings of Fact:

1. The development application meets the standards of the Town of Hayden's Development Code, is consistent with the general goals and intent of the Town of Hayden Master Plan, and preserves the health, safety, and welfare of the citizens of the Town of Hayden.

Conditions of approval:

1. This Sketch Subdivision Plan approval is contingent on submittal of a complete application for a Preliminary Subdivision Plan within twelve (12) months. Extension of up to one (1) year may be approved by the Hayden Planning Commission.
2. A complete Preliminary Plan application submittal shall include, but is not limited to, a traffic impact study, water demand report, drainage report, proposed roadway cross sections including infrastructure, right of way, and easement width, preliminary roadway layout including horizontal and vertical geometry, preliminary utility layout including proposed line sizing, preliminary overlot grading plan, infrastructure phasing plan including offsite

infrastructure needs, and indication of proposed public and private infrastructure maintenance.

3. A Preliminary Planned Unit Development application shall be submitted concurrently with the Preliminary [subdivision] Plan application.

Commissioner Robbins seconded the motion.

Commissioners Cook, Robbins, DeMorat, and Kelly vote aye, Chair Williams opposed; the motion passed.

Staff Reports

The Community Development Director provided an update there is one vacant position in Planning Commission.

Adjournment

The meeting was adjourned at 8:37 PM

Recorded by:

Kevin Corona

APPROVED THIS _____ DAY OF _____, 2025

Amy J. Williams, Chair



Town of Hayden

Planning Commission Agenda Item

MEETING DATE: February 27, 2025

AGENDA ITEM TITLE: Public Hearing: 4GM Construction, Inc. Shop
Major Site Plan
402 Commerce Street, Hayden
Lots 27, Valley View Business Park

AGENDA SECTION: New Business

PRESENTED BY: Tegan Ebbert
Community Development Director

APPLICANT: Gilberto Vasquez, property owner

CAN THIS ITEM BE RESCHEDULED: Not recommended.

ATTACHMENTS: Applicant Narrative
Site/civil Plan
Landscaping Plan
Architectural Plans

BACKGROUND REVIEW:

The subject property is located on Commerce Street, on the north side of Valley View Business Park. The property 0.42 acres in area and currently undeveloped. The property is zoned Light Industrial (I-1) and the proposed use of the site as a construction company shop, is indicated as a Use by Right requiring a site plan application in the Hayden Development Code.

The site is bordered on the west by the Natural Path Botanicals business site and on the east by the Northwest Colorado Welding Institute site. To the north is the Valley View Business Park open space parcel, and Commerce Street right of way is on the south. Between the subject parcel and the Northwest Colorado Welding Institute site is a trail easement.

The Applicant is proposing to construct a 3,600 square foot shop to store materials and equipment related to their construction business. Due to the business operation proposed to

occupy this site, this location will see a greater frequency of employees visiting the site in the beginning and endings of the day with less frequency of activity mid-day.

The site is designed with seven (7) onsite, exterior parking stalls. The structure will have three (3) garage bays for vehicle access. The staff for this business typology are typically working offsite rather than on the subject property.

COMPLIANCE WITH HAYDEN FORWARD MASTER PLAN:

Section 10.16.020(f)(1)(iii) of the Hayden Development Code (Code) states that “[t]he reviewing authority shall review development applications for compliance with all relevant standards and criteria as set forth in the specific procedures for the particular application in [the Code]” as well as general criteria which apply including compliance “with the goals and policies of the Comprehensive Plan” (Plan). The recently adopted Hayden Forward Master Plan 2020 serves as the Town’s Comprehensive Plan. Therefore, any proposal should be considered in light of the applicable policies of the Plan. While the Plan contains numerous policies regarding land use and development, staff has selected the following checklist to highlight the policies most directly applicable to this application. Interested parties are encouraged to review the Plan to determine if there are other policies that may be applicable to the review of this application.

I.HL3: Preserve a dark sky environment.

<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/>	I.HL3.1 Reduce light pollution through dark sky compliant fixtures with future development. <i>Staff comment: Plans show that exterior lighting fixtures are downcast and light will not extend beyond the property boundary.</i>
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RE.ED4: Existing Assets: Prioritize necessary community and capital infrastructure to underdeveloped areas of Town for successful development.

Complies Yes No	Action	Policies
<input checked="" type="checkbox"/> <input type="checkbox"/>	RE.ED4.1	Recruit tenants to the Valley View Industrial Park and other underutilized areas of Town. <i>Staff comment: The proposal will develop one currently undeveloped lot in Valley View and provide a headquarters for a local, small business.</i>

COMPLIANCE WITH THE TOWN OF HAYDEN DEVELOPMENT CODE

While the Hayden Development Code (Code) contains numerous regulations regarding land use, staff has selected the following checklist to highlight the regulations directly applicable to this application. Interested parties are encouraged to review the Code to determine if there are other regulations that may be applicable to the review of this application.

Section 10.16.020 – General Procedures and Requirements.

Complies		Section	Standards
Yes	No		
<u>√</u>	_____	(d)	Notice. Notice shall be required for all public hearings conducted by the Planning Commission and Council. <i>Staff Comment: All public notice requirements were fulfilled in order to bring this application forward to public hearing.</i>
<u>√</u>	_____	(g)	Expiration of approval. All development approvals shall expire and become void two (2) years after the date of the approval if a building permit has not been issued prior to the expiration date. <i>Staff Comment: A recommended condition of approval has been included to reinforce this standard.</i>

Chapter 10.20 – Zone Districts and Official Zoning Map

Section 10.20.130 – I-1 Light Industrial District

Complies		Section	Standards
Yes	No		
<u>√</u>	_____		Intent. This district is intended to provide locations for a variety of workplaces including light industrial uses, research and development offices and institutions. This district is also intended to accommodate secondary uses that complement and support the primary workplaces uses, such as hotels, restaurants, convenience shopping, and childcare. Additionally, this district is intended to encourage the development of planned office and business parks and to promote excellence in the design and construction of buildings, outdoor spaces, transportation facilities and streetscapes. <i>Staff comment: This is an example of a light industrial business type and the variety of business that is anticipated to occupy the Valley View Business Park.</i>



Chapter 10.24 – Development Standards

10.24.020 – Dimensional and Setbacks

Complies		Section	Standards
Yes	No		
<u>✓</u>	<u> </u>	-	Dimensional Standards Table 10.24-1. I-1 – Light Industrial Zone District. Minimum structure setbacks: 20' from front property line, 15' from side property line, and 20' from rear property line. Maximum structure height: 35'. <i>Staff comment: The applicant's site plan and elevations indicate that all setbacks and height standards are met. The structure exceeds the setbacks with a 20' side setback, and a 45' front and 25' rear setback. The structure will be 29' in height.</i>

Section 10.24.080 – Access Standards

Complies		Section	Standards
Yes	No		
<u>✓</u>	<u> </u>	(b)	Industrial lot access to adjacent street. Driveway access to a local or collector street from a multi-family residential, commercial, business or industrial lot shall be greater than one hundred twenty-five (125) feet from any street intersection as measured from the intersecting right-of-way lines. <i>Staff comment: The proposed access point, located on Commerce Street, exceeds 125' from the nearest intersection.</i>

10.24.100 – Parking

Complies		Section	Standards
Yes	No		
			General Provisions. In all zone districts, off-street parking facilities for the storage of motor vehicles for the use of occupants, employees and patrons of the building or structures hereafter erected, altered or extended shall be provided and maintained as herein prescribed.

- (1) **Surface.** All parking and driveway areas and primary access

to parking facilities shall be surfaced with asphalt, concrete or similar materials. **Staff comment:** *A recommended condition of approval has been included requiring the that access and parking areas be paved prior to issuance of a Certificate of Occupancy/Completion.*

√

- (6) **Off-Street Parking Design.** Any off-street parking area shall be designed so that vehicles may exit without backing onto a public street unless no other practical alternative is available. Off-street parking areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks or strike against or damage any wall, vegetation, utility or other structure. **Staff comment:** *As designed on the site plan, parking will occur on the subject property, not on the public street/right of way. The property has seven (7) onsite, exterior parking stalls, in addition to three (3) garage bays for interior parking ability.*

√

6. **Off-Street Parking Design.** Any off-street parking area shall be designed so that vehicles may exit without backing onto a public street unless no other practical alternative is available. Off-street parking areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks or strike against or damage any wall, vegetation, utility or other structure. **Staff comment:** *As designed on the site plan, parking will occur on the subject property, not on the public street/right of way.*

√

8. **Striping.** All parking areas shall be striped to identify individual parking spaces. **Staff comment:** *A recommend condition of approval has been included requiring that the parking areas be striped prior to issuance of a Certificate of Occupancy/Completion.*

√

9. **Lighting.** All parking area lighting shall be full cutoff type fixtures. Any light used to illuminate parking areas or for any other purpose shall be so arranged as to reflect the light away from nearby residential properties, and away from the vision of passing motorists. **Staff comment:** *A recommended condition of approval has been included to require that exterior lighting fixtures are downcast and light will not extend beyond the property boundary in accordance with this policy.*

- | | |
|--|---|
| <div style="display: flex; align-items: center;"> <div style="text-align: center; width: 100px;"> <div style="border-bottom: 1px solid black; width: 100px; margin-bottom: 5px;"></div> <div style="text-align: center;">√</div> </div> <div style="border-bottom: 1px solid black; width: 100px; margin-bottom: 5px;"></div> </div> | <p>(c) Paved off-street parking requirements: Shall be provided according to the minimum requirements as specified: Business park/industrial: 1 space each for the maximum number of employees present at any one time plus space to accommodate all trucks and other vehicles used in connection with the facility <i>Staff comment: Due to the business typology, this location will serve as a storage/warehouse location for materials and equipment for offsite construction activities. The staff of 4GM Construction will typically spend limited time onsite at the beginning and endings of their work day. Town staff interpret the proposed seven (7) exterior parking stalls, along with three (3) garage bays to facilitate interior parking are adequate for the proposed use and site design.</i></p> |
| <div style="display: flex; align-items: center;"> <div style="text-align: center; width: 100px;"> <div style="border-bottom: 1px solid black; width: 100px; margin-bottom: 5px;"></div> <div style="text-align: center;">√</div> </div> <div style="border-bottom: 1px solid black; width: 100px; margin-bottom: 5px;"></div> </div> | <p>(e) Handicap parking spaces.
<i>Number of handicap parking spaces:</i> Total parking spaces in lot: 1-25: 1 space required. <i>Staff Comment:</i> One (1) accessible parking space must be provided in the development. <i>Staff Comment: One ADA compliant parking stall is required for this site but has not been identified on the site plan. Staff have included a recommended condition of approval below.</i></p> |

Section 10.24.110 – Sidewalks

Complies		Section	Standards
Yes	No		
<div style="border-bottom: 1px solid black; width: 100px; margin-bottom: 5px;"></div> <div style="text-align: center;">√</div>	<div style="border-bottom: 1px solid black; width: 100px; margin-bottom: 5px;"></div>	2.	<p>Sidewalks Required. In all zone districts, except for the O district, sidewalks are required along both sides of a street. Within the O district, sidewalks are required along one side of the street unless the development is served by rural streets. <i>Staff comment: Sidewalks have not historically been required in the Valley View Business Park in accordance with this standard, and a finding that such is not required for this proposal is recommended below. However, there are trail connections to the exterior of the Business Park and one of them runs along the east line of the Property. A condition is recommended below that the Site Plan be modified to show the construction of a 10-foot-wide soft surface trail connecting from Commerce Street to the trail/walkway located in Open Space A, Valley View Business Park as be included as part of the landscaping plan. (Note: The developer of Lot 26 is also subject to this standard for their proposed construction, and it is</i></p>

recommended that the applicants coordinate to create a single trail alignment.)

Section 10.24.160 – Landscape Design

Complies		Section	
Yes	No		
<u>√</u>	_____	(c)(3)	Industrial Development Landscaping Standards. Landscape improvements within the I-1 and I-2 districts shall be designed to enhance the overall appearance of the development and to integrate the project with adjacent land uses and into the surrounding neighborhood. A minimum of fifteen (15) percent of the site (gross) shall be landscaped area. <i>Staff Comment: The submitted landscaping plan indicates that 2,490 square feet of area is dedicated to landscaping and the trail feature with an additional 2,000 square feet dedicated to function as a vegetated swale/drainage feature. Both of these areas satisfy the required landscaping standards within the Hayden Development Code and amount to 24.5% of the total site area.</i>
<u>√</u>	_____	(c)(3)b	Required trees/shrubs The developer or assigns shall provide: (A) Site trees – plant a minimum of one (1) tree per one thousand five hundred (1,500) square feet of landscaped area, distributed on the site. (B) Shrubs – plant a minimum of one (1) shrub per three hundred (300) square feet of landscaped area. Group shrubs and distribute throughout the site. Trees may be substituted at the discretion of the Planning Commission at site plan review. <i>Staff comment: Required landscape area is 2,745 square feet. This requires two (2) trees and nine (9) shrubs. One addition tree is per five parking spaces. The landscaping plan exceeds this volume of trees and shrubs. The permit is recommended to be conditioned to require the minimum landscaping totals.</i>

Chapter 10.24.200 – Commercial and Industrial Architecture

Complies	Section	Standards
Yes	No	
<u>√</u>	_____	a. A building's special architectural features and treatments shall not be restricted to a single façade. All sides of a building open to view by the public, when viewed from public right-of-

way shall display a similar level of quality and architectural interest. *Staff comment: Staff comment: Referencing the architectural plans, the buildings will have adequate openings and windows on all sides and the façade has a wainscoting feature.*

Building massing and form.

b. **Building Massing and form:**

√ _____

iii. Loading areas shall not front any street or public right-of-way. *Staff Comment: Loading areas/garage bays are facing the interior of the development.*

√ _____

iv. Parking requirements shall be provided to the extent possible at the rear or sides of the building. *Staff Comment: The parking areas are located to the sides of the buildings. Very limited parking exists on the front of the building structure but outside of the 20' setback and behind landscaping features.*

√ _____

(c) **Wall articulation.** Walls shall not have an uninterrupted length exceeding fifty (50) feet. Pilasters, texture transitions, windows and/or stepping of the wall plane are required. *Staff comment: The applicant is proposing a wainscoting metal facade around the building with several doors, windows, and lighting features on all sides.*

iv. **Siting structures.**

a.

√ _____

Structures shall be sited to avoid a “wall” affect along public rights-of-way and along adjacent property lines. This can be achieved by varying the building setbacks and clustering buildings. *Staff comment: The structure is sited in the with the bulk of the structure towards an adjoining private property. The structure exceeds the setbacks located adjacent to public rights-of-way.*

RECOMMENDATION: Move to approve the Hayden Contractor Shops site plan with the following findings of fact and conditions of approval.

Site Plan

Findings of fact:

1. The proposal meets the standards of the Town of Hayden's Development Code, is in general conformance with the intent and purpose of the Hayden Forward Master Plan and preserves the health, safety and welfare of the citizens of the Town of Hayden.
2. As sidewalks have not been required historically in the interior of the Valley View Business Park, the waiver of the requirement that sidewalks be constructed is appropriate.

Subject to the following conditions of approval:

1. The effective date of this approval is the date upon which the Planning Commission approves the application. The approval shall expire one (1) years from its effective date, unless a building permit has been issued or an application for renewal of the Site Plan approval is approved pursuant to Section 10.16.020, Hayden Development Code (HDC).
2. Paved access, paved parking areas, and striping be installed prior to issuance of a certificate of occupancy/completion.
3. The required landscaping of three (3) trees and nine (9) shrubs shall be installed prior to the issuance of a certificate of occupancy/completion.
4. One (1) ADA accessible parking space shall be provided on the premise pursuant to 10.24.100(e)(4).
5. Exterior lighting fixtures shall be downcast, opaquely shielded, and light shall not extend beyond the property boundary.
6. The Site Plan shall be modified to show the construction of a 10-foot-wide soft surface trail connecting from Commerce Street to the trail/walkway located in Open Space A, Valley View Business Park, along/within the platted utility/trail easement adjacent to the west lot line, and such be included as part of the landscaping plan. (Note: The developer of Lot 26 is subject to this standard for their proposed construction but has not yet been installed, and it is recommended that the applicants coordinate to create a single 10' trail alignment.)
7. A backflow device will be required to be installed after the water meter and the meter shall be in a location approved by the Hayden Public Works Department.

MANAGER'S RECOMMENDATION/COMMENTS: *I concur with this recommendation.*



Ph: 970-871-6772 · Fax: 970-879-8023 · P.O. Box 775966 · Steamboat Springs, Colorado 80477

January 3, 2025

Town of Hayden
178 West Jefferson
Hayden, CO 81639-0190
970-276-3741 office

Re: Written Project Narrative – 4GM Construction, INC. Lot 27 Valley View Business Park
Four Points Project No. 2488-001

Dear Hayden Planning Department;

Introduction and Project Description

This letter serves as the Site Plan narrative for a proposed warehouse and contractor storage yard located at Lot 27 Valley View Business Park (Project). The Project consists of single level warehouse/shop with three bays and sixteen-foot garage doors and all associated infrastructure and amenities including access, parking, wet and dry utilities, drainage infrastructure, stormwater best management practices, and landscaping. We are confident this Project conforms to Hayden's municipal code, master plan, and the community's forward vision.

Existing Conditions

Lot 27 fronts Commerce Street and is currently used as a storage and staging lot for 4GH Construction and does not have any permanent structures or paving. Existing water and sanitary sewer utilities and service connections are in place along Commerce Street and have been stubbed out into the vacant lot for utility connections. Electrical, communications, gas, and sanitary sewer utilities are situated along the southern property line and within the plated utility easement. The existing topography of the lot slopes towards the North property line with no defined historical discharge point into the drainage way located in Open Space Parcel "A", Valley View Business Park.

Compliance with Hayden Municipal/Development Code and Site Design Criteria

The Project conforms to Hayden Municipal Code and development standards. The land is currently zoned as Commercial (C). A warehouse of one to two and one-half stories is a permitted use by right and encouraged. The lot will be constructed in a manner that allows for indoor and outdoor storage space, trailer and large vehicle parking, equipment storage, office and shop space, and other necessary means associated with 4GH Construction. The following outlines compliance criteria as it pertains to Hayden Municipal Code Chapter 10.24 and the proposed project.

- Dimensional and Setback Standards: Building dimensions and setbacks comply, see sheet C3 and architectural drawings and renderings. The lot has a ten foot wide front and side setback for a utilities, drainage, trails, and snow storage.
- Community Design Standards: Civil and architectural design standards are met and do not require an alternative condition. See plan sets.

- Design Elements and Compact Urban Growth: The proposed construction maximizes the space on Lot 27 for commercial use while staying within development standards. The concrete flatwork and warehouse allows for a variety of uses associated with the business, creates adequate space for storage, and fits well with the existing aesthetic of the Valley View Business Park.
- Access and Parking: The project involves upgrading the lot access by paving a 28 foot wide access point over an existing culvert with a concrete parking and storage area. The total paved area will cover approximately 7,000 square feet, featuring seven designated parking spaces. The design ensures sufficient parking and storage space while maintaining a landscaped buffer and gravel shoulder between the neighboring lot and street frontage, minimizing the visual impact of the parking area and structure.
- Landscaping: The landscaping conforms to code and is integrated into the overall design and drainage features. A combination of deciduous, evergreen, and ornamental trees and shrubs are proposed.
- Drainage and Environmental Considerations: The proposed construction will not alter historic drainage patterns or result in any environmental impacts. During the construction phase, stormwater best management practices will be implemented to minimize any potential effects on the Open Space lot located to the north. For details, refer to the Construction Site Management Plan.
- Water and Sewer Infrastructure: Lot 27 has existing water and sanitary sewer service lines extended onto the property. The proposed structure will include one bathroom, which will be connected to these existing service lines.

Conclusion

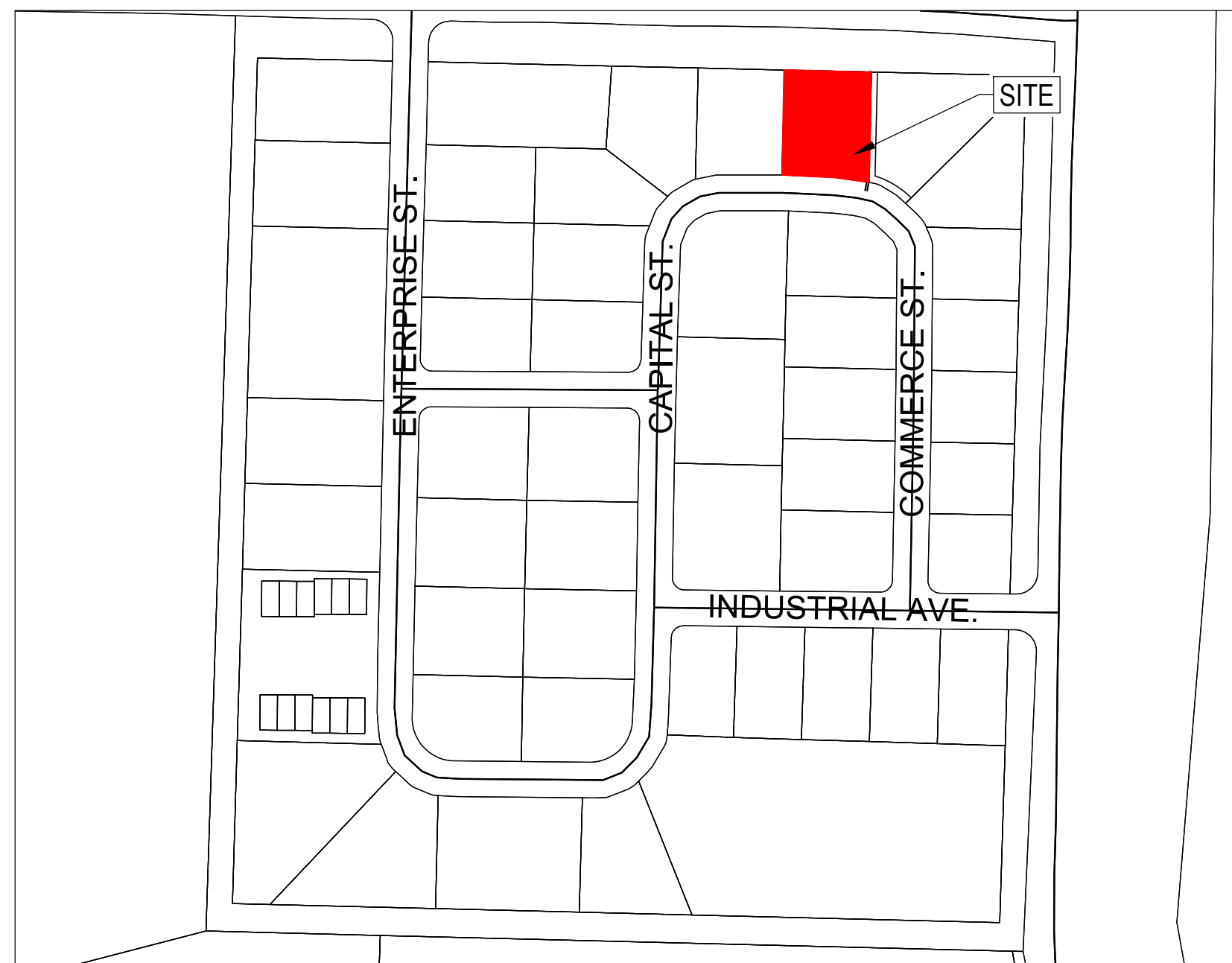
We believe the Project meets all of the requirements of a the Hayden Development Code and is in line with Hayden standards, the Hayden Forward Master Plan, and Hayden Comprehensive Plan. We look forward to the approval of the Project.

Sincerely,

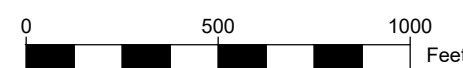
Walter Magill, PE
Four Points Surveying & Engineering

LOT 27 VALLEY VIEW BUSINESS PARK 4GM CONSTRUCTION- SITE PLAN

402 COMMERCE STREET,
HAYDEN CO, 81639



VICINITY MAP



SHEET INDEX

- | | |
|----|-----------------------------------|
| C1 | COVER SHEET & NOTES |
| C2 | EXISTING GONDITIONS |
| C3 | SITE PLAN |
| C4 | LANDSCAPE AND OPEN SPACE PLAN |
| C5 | CONSTRUCTION SITE MANAGEMENT PLAN |

PROJECT CONTACT LIST

PROJECT OWNER

GILBERTO VAZQUEZ
P.O. Box 770417
Steamboat Springs, CO 80477

OFFICE: (970) 404-1745
EMAIL: 4gmconstruction@gmail.com

CIVIL ENGINEER

FOUR POINTS SURVEYING AND ENGINEERING
ATTN: WALTER MAGILL, P.E.
440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487

OFFICE: (970) 871-6772
EMAIL: walterm@fourpointsse.com

SITE DATA TABLE	
DEVELOPMENT CRITERIA	PROJECT PROVIDED
Existing Zoning:	Light Industrial (I-1)
Proposed Zoning:	None
Lot Number	Valley View Business Park Lot 27
Min. Lot Area: Per Zoning	None
Max. Lot Frontage: Per Zoning / Provided	None
Max. Lot Coverage: Per Zoning / Provided	NA
Land Use Designation: (Existing or Proposed)	Propose: Light Industrial
Site Acreage:	0.421
Building Area: Existing / New	New: 3,600
Building Height: Allowed / Provided	New: TBD
Building Setbacks: Per Zoning (F, L.S, R.S, R)	20' (F), 15 (S), 20' (R) Note: Front Lot Line will be facing Commerce Street
Floor Area Ratio: Per Zoning / Provided	None
Min. Landscape Area: Per Zoning/ Provided	Req'd: 15% Gross / Provided: 2,500+
Trees Provided: Per Zoning / Provided	Req'd: 1/1500SF / Provided: 8
Shrubs Provided: Per Zoning / Provided	Req'd: 1/300SF / Provided: 12
Parking Calculations Per Zoning Classification: Industrial	1 space/ per employee on a max shift + space for all truck per operations
Parking Required:	5
Total Parking Provided:	6
Trash Enclosure: screened outside or roll carts	Roll Carts


	LEGEND
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING EDGE OF ASPHALT
	PROPOSED EDGE OF ASPHALT
	EXISTING 2 FT CONTOUR
	EXISTING 10 FT CONTOUR
	PROPOSED 2 FT CONTOUR
	PROPOSED 10 FT CONTOUR
	EXISTING EDGE OF GRAVEL
	CENTER LINE OF DITCH
	EXISTING WATER LINE
	EX CURB STOP, GATE VALVE, FIRE HYDRANT
	PROPOSED WATER SERVICE LINE
	PR CURB STOP, GATE VALVE, FIRE HYDRANT
	THRUST BLOCK
	EXISTING SEWER LINE
	EXISTING MANHOLE AND CLEANOUTS
	PROPOSED SEWER LINE
	PROPOSED MANHOLE AND CLEANOUTS
	EXISTING ELECTRICAL
	EXISTING TELEPHONE
	UTILITY PEDESTALS
	POWER POLE
	GAS
	EXISTING FENCE
	PROPOSED EDGE OF CONCRETE
	DECK
	PROPOSED BUILDING
	OVERHANG
	PROPOSED POND
	SIDEWALK/BOARDWALK
	PERIMETER DRAIN
	WALL
	VEGETATION OUTLINE
	PROPERTY CORNERS
	STORM INLET
	PR CULVERT W/ FLARED END SECTIONS
	EX CULVERT W/ FLARED END SECTIONS
	ASPHALT
	CONCRETE
	GRAVEL
	ROCK/RIP RAP

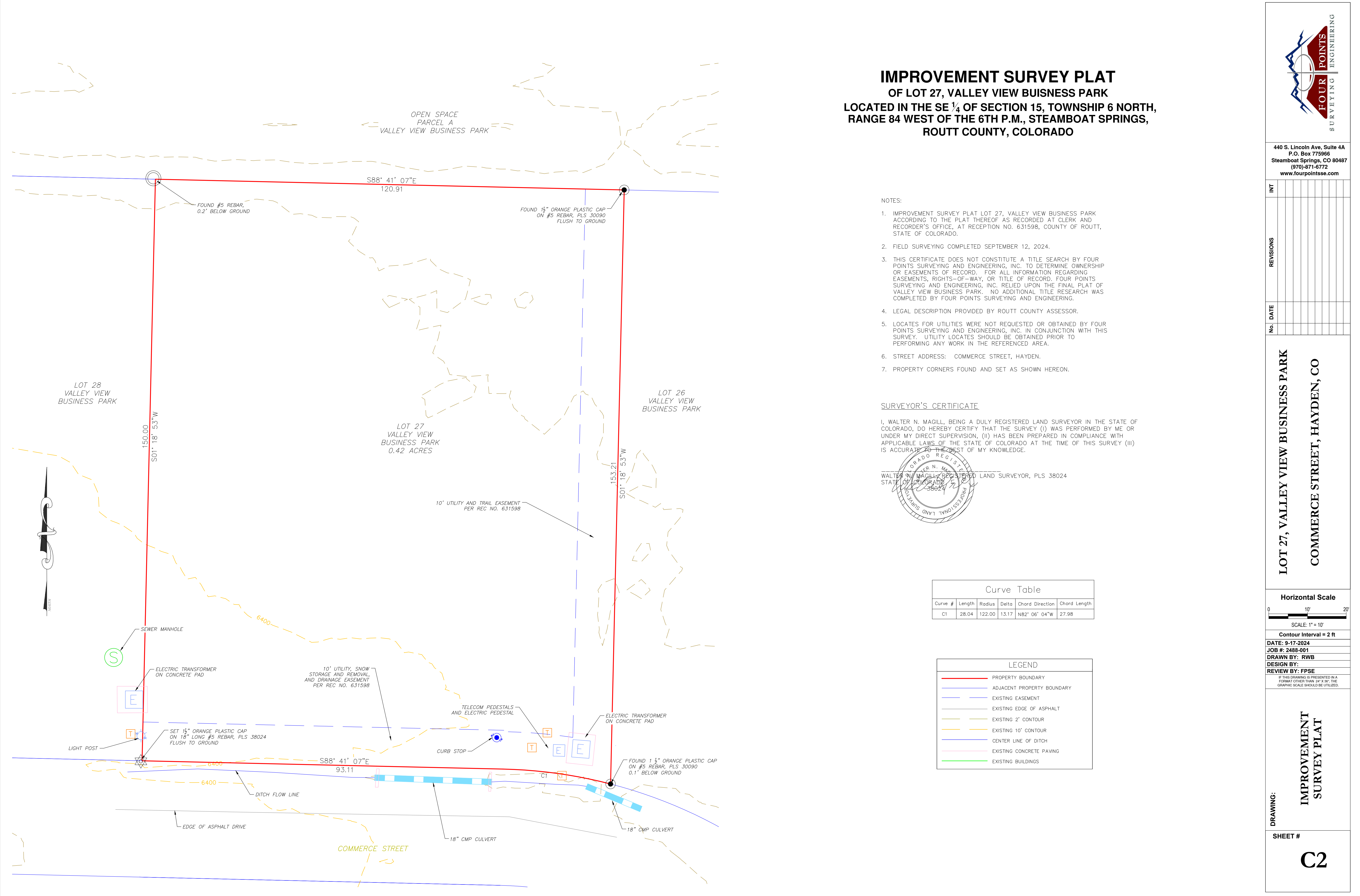
ABBREVIATIONS:

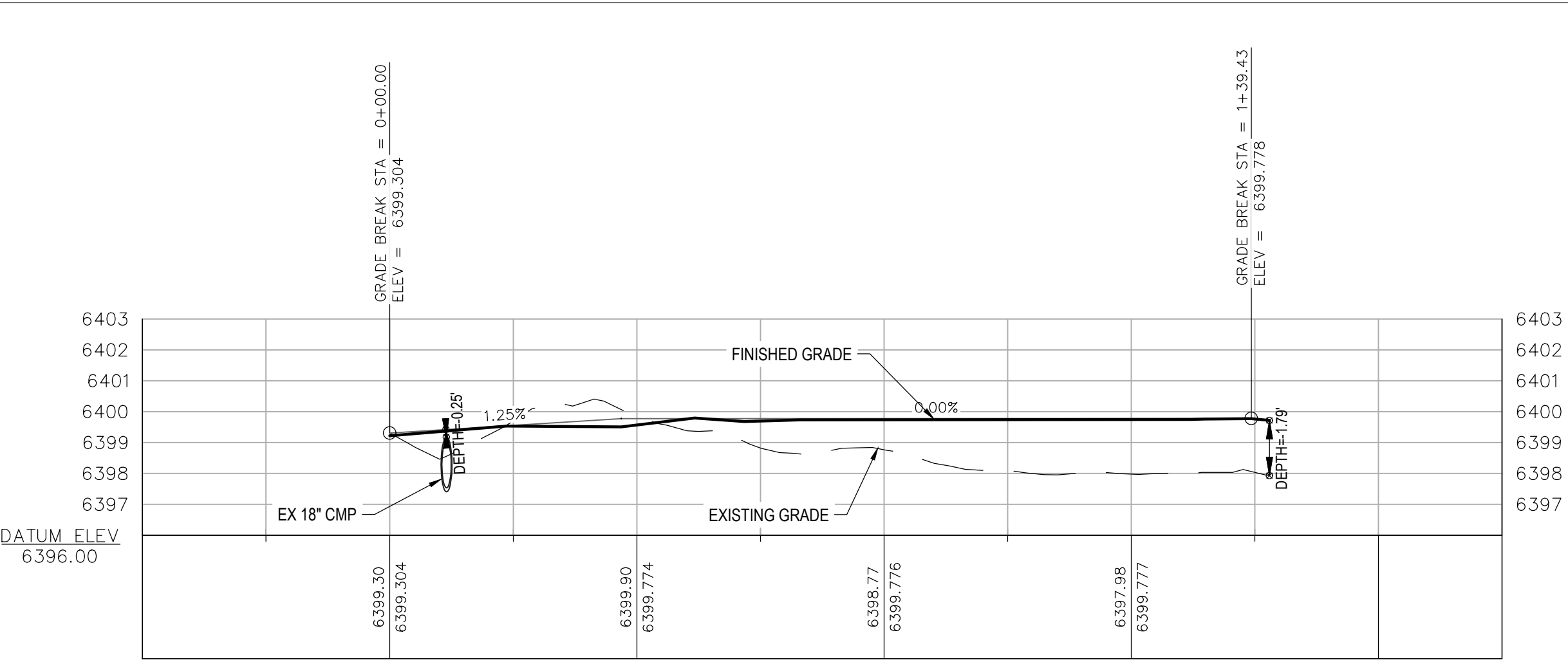
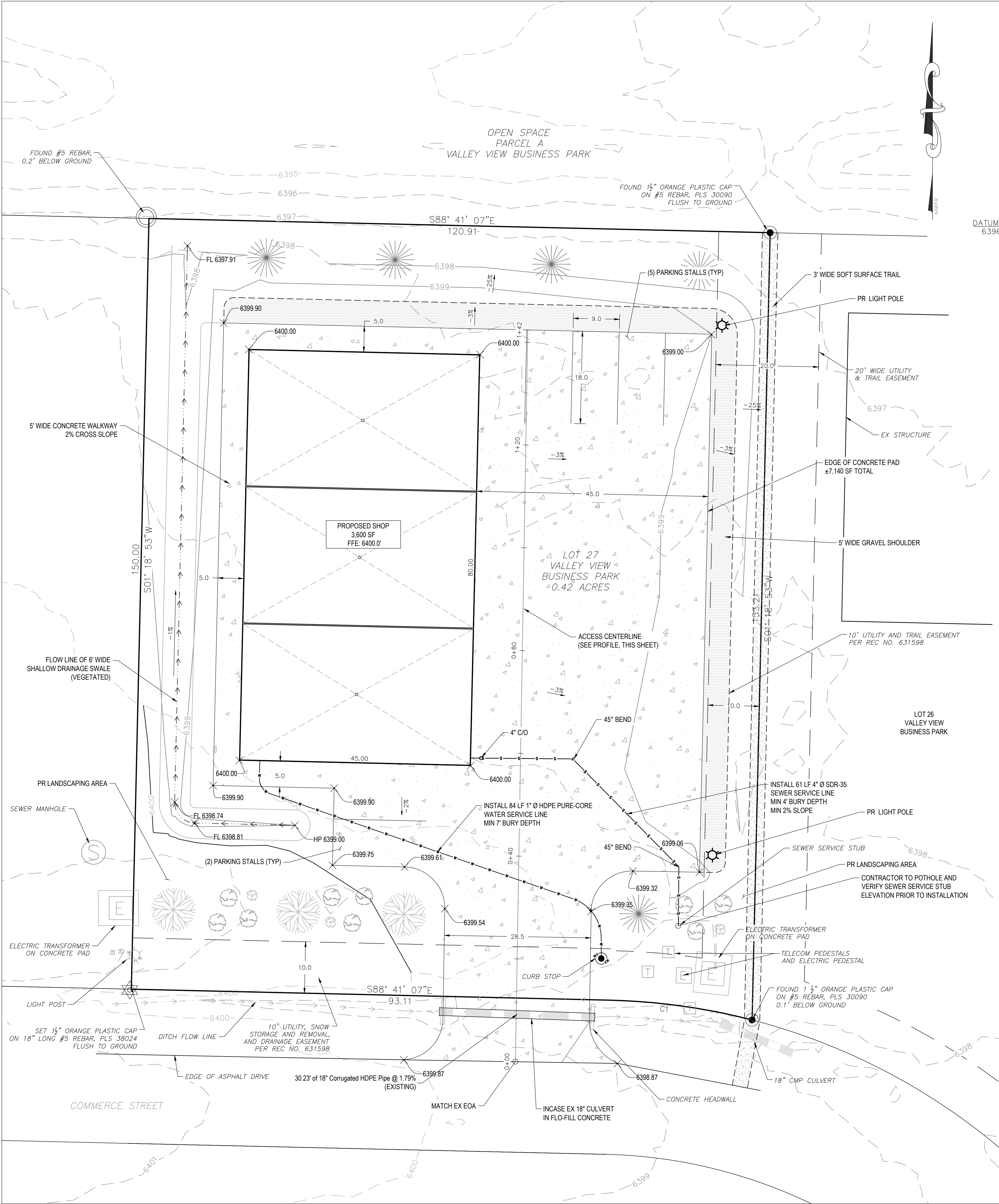
AP	ANGLE POINT	INV	INVERT
APR	APPROXIMATE	LF	LINEAL FEET
A	ASPHALT	LP	LOW POINT
BFF	BASEMENT FINISH FLOOR	MAX	MAXIMUM
BOW	BOTTOM OF WALL	MIN	MINIMUM
BVC	BEGIN VERTICAL CURVE	NG	NATURAL GROUND
BW	BACK OF WALK	O/S	OFFSET
CC	CURB	PC	POINT OF CURVATURE
CC	CURB CUT	PED	PEDESTAL
CG	CURB AND CUTTER	PI	POINT OF INTERSECTION
CL	CENTERLINE	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PR	PROPOSED
C/O	CLEAN OUT	PT	POINT
CONC	CONCRETE	PVC	POINT OF VERTICAL CURVE
CNR	CORNER	PVC	POLYVINYL CHLORIDE PIPE
CR	CURB RETURN	PVI	POINT OF VERTICAL INTERSECTION
CS	CURB STOP	RD	ROAD
D	DEPTH	R	RADIUS
DI	DRAIN INLET	ROW	RIGHT-OF-WAY
DIP	DUCTILE IRON PIPE	RW	RETAINING WALL
DMH	DRAINAGE MANHOLE	SOFT	SOFTEN FEET
DRN	DRAIN	SMH	SEWER MANHOLE
DT	DITCH	SS	SANITARY SEWER
DW	DRIVEWAY	STA	STATION
EG	EXISTING GRADE	SW	SIDEWALK
EL	ELEVATION	TB	THRUST BLOCK
EW	EDGE OF WALK	TBC	TOP BACK OF CURB
EX	EXISTING	TBR	TO BE REMOVED
FES	FLARED END SECTION	TBW	TOP BACK OF WALK
FFE	FINISH FLOOR ELEVATION	TEL	TELEPHONE
FG	FINISH GRADE	TOP	TOP OF PIPE
FH	FIRE HYDRANT	TOW	TOP OF WALL
FL	FLOW LINE	TYP	TYPICAL
FT	FOOT OR FEET	VOL	VOLUME
G	GRAVEL	VP	VALLEY PAN
GB	GRADE BREAK	W	WIDTH
HC	HANDICAP RAMP	WL	WATERLINE
HP	HIGH POINT	W/	WITH
IN	INLET		

PLANNING COMMISSION CERTIFICATE

APPROVED THIS _____ DAY OF _____, 202_, BY THE PLANNING
COMMISSION OF THE TOWN OF HAYDEN, COLORADO.

DRAWINGS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT		<p>Four Points Surveying & Engineering 440 S. Lincoln Ave, Suite 4A P.O. Box 775966 Steamboat Springs, CO 80487 (970)-871-6772 matthew@fourpointsse.com</p>	SHEET #
	1	1/24/25	DATA TABLE UPDATE, LANDSCAPE PLAN, OPEN SPACE	AP			
DATE: 1-2-2025							
JOB #: 2488-001							
DRAWN BY: AP							
DESIGN BY: AP							
REVIEW BY: WNM							
<p>IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.</p>							

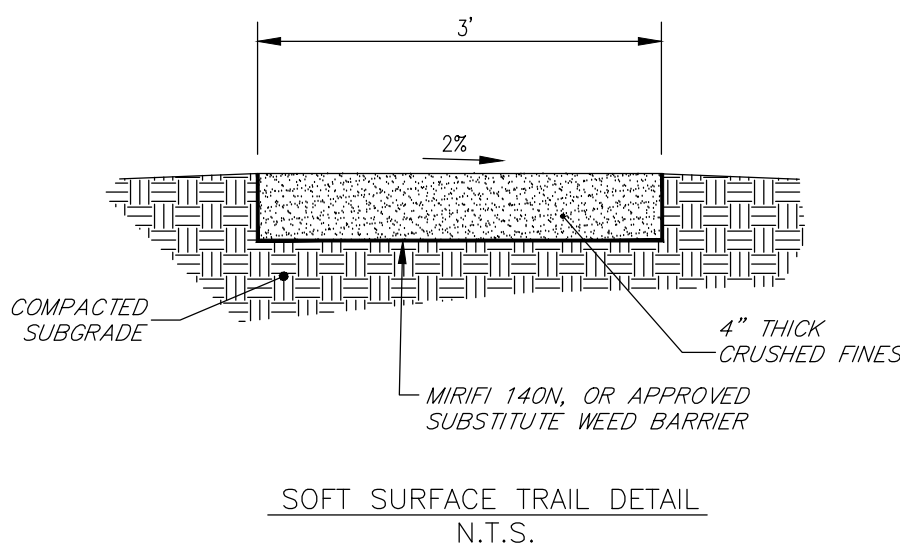




ACCESS CENTERLINE PROFILE
HORIZ: 1"=20'
VERT: 1"=4'

- GRADING:**
1. GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
 2. NO WORK SHALL OCCUR IN WETLANDS OR FLOODPLAINS WITHOUT APPROPRIATE PERMITS. ANY WORK SHALL BE IN ACCORDANCE WITH THE ISSUED PERMITS.
 3. GRADING DESIGN DOES NOT CALL FOR THE CONSTRUCTION OF SLOPES GREATER THAN 2:1.
 4. ALL FINISHED BARE GROUND SURFACES SHALL RECEIVE A MINIMUM OF 6" OF NATIVE TOPSOIL FOR FINAL GRADING AND SHALL BE RELATIVELY FREE OF STONES, CLODS, STICKS, AND OTHER DEBRIS.
- EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
 2. CONTRACTOR SHALL PROPERLY INSTALL PERIMETER EROSION CONTROL MEASURES ON ALL DOWNSLOPE LIMITS OF DISTURBANCE (E.G. STRAW WATTLE SOCKS, SILT FENCE).
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
 4. ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

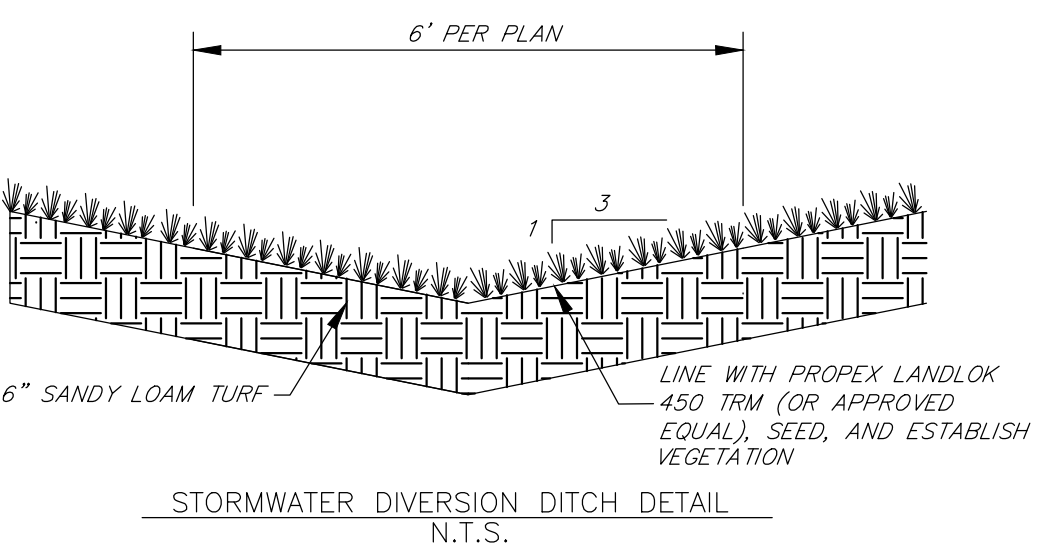
- WATER, SEWER AND UTILITY NOTES:**
1. EXISTING DRY UTILITY LOCATIONS WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLING.
 2. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF TOWN OF HAYDEN STANDARDS AND SPECIFICATIONS.
 4. MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7) FEET. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
 5. MINIMUM COVER FROM FINISHED GRADE TO TOP OF SEWER SERVICE LINE IS FOUR (4) FEET. MINIMUM SLOPE FOR SEWER SERVICE LINE IS 2%. SEWER SERVICE LINES BETWEEN STRUCTURE AND CLEAN OUT SHALL BE SCHEDULE 40 PVC PIPE, ALL OTHER SEWER SERVICE LINES SHALL BE SDR 35 PVC PIPE.
 6. VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY, UNLESS PERMISSION OF THE UTILITY COMPANY IS OBTAINED.
 7. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.



PROJECT TOTAL EARTHWORK QUANTITIES:

AREA OF DISTURBANCE:	11,372	SQ. FT.
TOPSOIL STRIPPING:	211	CU. YDS.
TOTAL CUT:	55	CU. YDS.
TOTAL FILL:	323	CU. YDS.
NET (FILL):	268	CU. YDS.

- NOTES:**
1. TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 0.5 FEET PER THE GEO-TECHNICAL REPORT. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE ENTIRE AREA OF DISTURBANCE.
 2. THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
 3. A FILL FACTOR OF 1.10 WAS USED FOR CUT-FILL VOLUME CALCULATIONS.
 4. FILL VOLUME INCLUDES NATIVE MATERIAL AND ALL IMPORT MATERIALS. (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)



LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	EXISTING DRAINAGE DITCH
	PROPOSED DRAINAGE DITCH
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SEWER MAIN
	PROPOSED SEWER SERVICE
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING FIRE HYDRANT
	PROPOSED GRAVEL SURFACING
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE PAVING
	PROPOSED PARKING STRIPING
	EXISTING BUILDING FOOTPRINT
	PROPOSED BUILDING FOOTPRINT
	PROPOSED BUILDING OVERHANG
	PROPOSED FENCING
	SNOW STORAGE
	EXISTING LABEL
	PROPOSED LABEL

440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointssse.com

4GM CONSTRUCTION, INC.
LOT 27, VALLEY VIEW BUSINESS PARK
402 COMMERCE STREET
HAYDEN, CO. 81639

Horizontal Scale

0 20' 40'

SCALE: 1" = 20'

Contour Interval = 1 ft

DATE: 1-2-2025
JOB #: 2488-001
DRAWN BY: AP
DESIGN BY: AP
REVIEW BY: FPSE TEAM

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

SITE PLAN

DRAWING:

SHEET #

C3

C4

GENERAL NOTES AND SPECIFICATIONS

1. The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
2. This building is designed in accordance with the following codes and specifications:
2021 International Building Code (IBC)
2018 Edition Of "National Design Specifications for Wood Construction"

Risk Category: II
Use Group(s) Classification: U
Building Use: Private Garage
Type of Construction: Type VB
Building Area: 3600 Sq. Ft.

Building Design Loads:
Snow Design Data:
Ground Snow Load (Pg): 74 PSF
Snow Exposure Factor (Ce): 1.0
Slope Factor (Cs): .86
Thermal Factor (Ct): 1.2
Snow Load Importance Factor (Is): 1.0
Flat Roof Snow Load (Pf): 62.2 PSF
Sloped Roof Snow Load (Ps): 53.2 PSF
Unbalanced Snow Loads: 16.1 PSF Windward
53.2 PSF Leeward
33.1 PSF Leeward surcharge
9.0 Ft. Width of surcharge

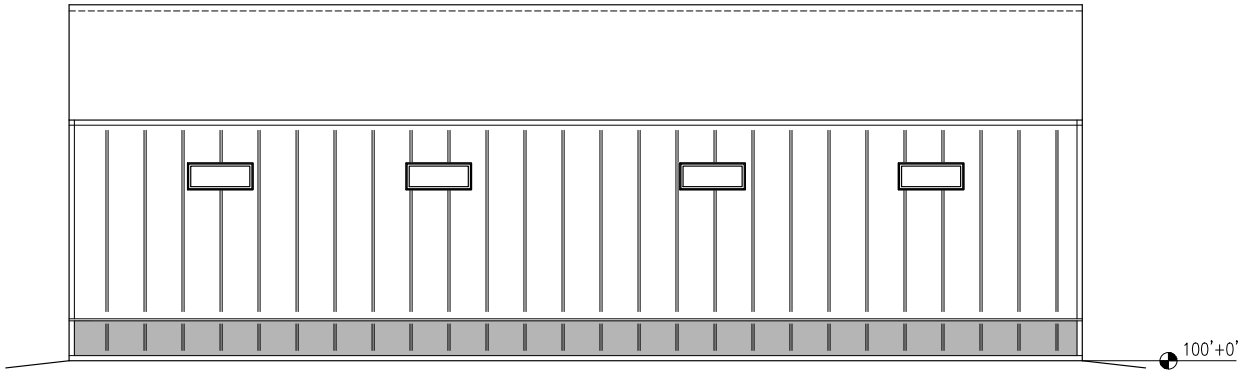
Wind Design Data:
Basic Design Wind Speed (V): 115 MPH
Wind Exposure: C
Design Internal Pressure Coefficient: ± 0.18

Earthquake Design Data:
Basic Seismic Force Resisting System: Building Frame System/Light Frame
Walls Sheathed with Steel Sheets
Design Base Shear: 3924 LBS
Seismic Response Coefficient (Cs): 0.048
Analysis Procedure Used: Equivalent Lateral Force Procedure
Seismic Design Category: B
Mapped Spectral Response Accelerations (Ss): 27.6%g
(S₁): 7.6%g
Spectral Response Coefficients (S_{DS}): 0.291g
(S_{D1}): 0.121g
Site Class: D
Seismic Importance Factor (I_e): 1.0
Response Modification Factor (R): 6

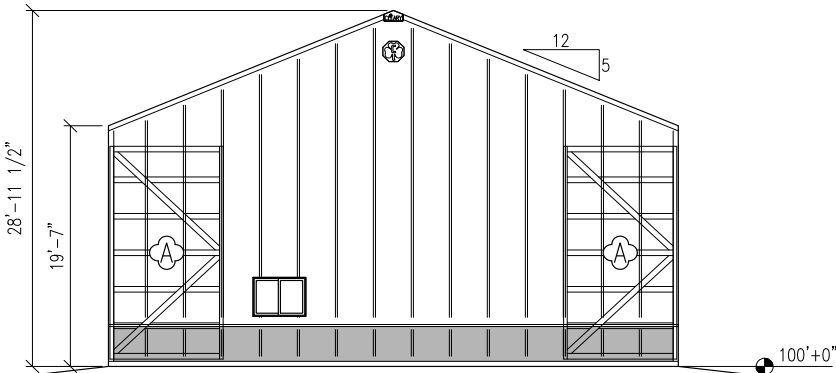
3. All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot. AWP4 U1, UC4B.
4. All nails are to be threaded hardened steel unless otherwise noted.
5. Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
6. Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4"Ø and frozen material.
7. Electrical work, heating, ventilating, air conditioning, plumbing, and site draining is not a part of this drawing and shall be installed as per applicable codes.
8. This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASAE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
This building, as depicted, must be constructed 5 feet or more from any and all lot lines and 10 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

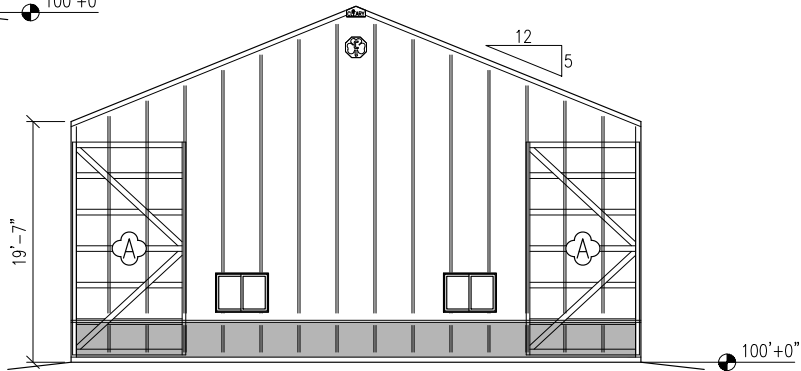
NOTE:
This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. It should also be noted that the designer is unaware of any subsoil investigation reports. Footings have been sized on assumed values as per note 8.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.



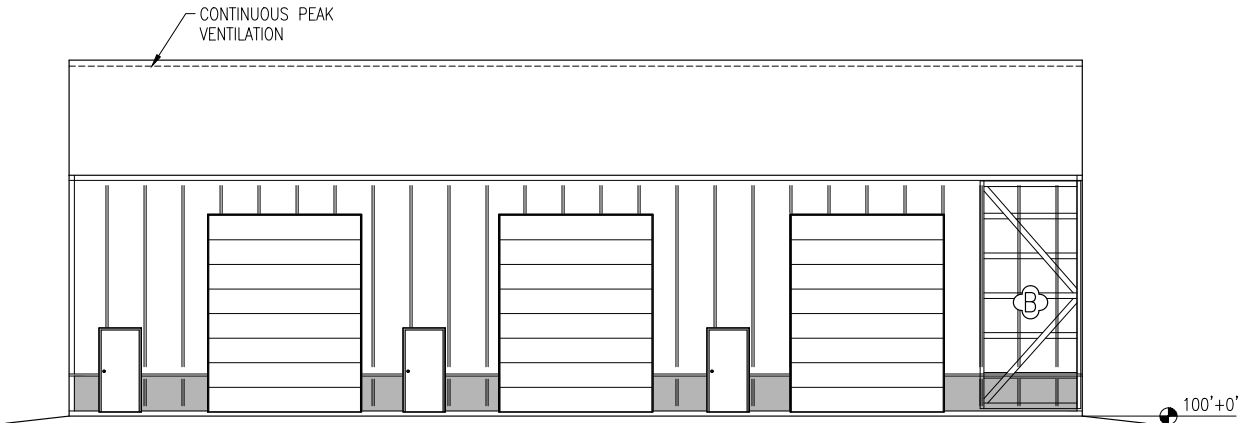
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

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161. SHEAR TRUSS DETAILS B
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190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: KELLY GAFFNEY

DATE DRAWN: 09/16/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:
402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:
45' 0" x 80' 0" x 19' 7"

SHEET NAME:
ELEVATIONS

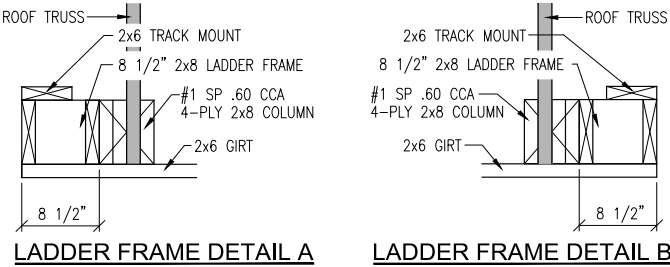
PROJECT NUMBER:
2024103660

SHEET NUMBER:
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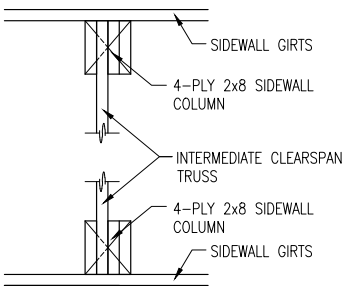


COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) SIDEWALL	4-PLY 2x8x25'-3"	6'-9"	24"Ø	12"x24"Ø CONCRETE (SEE NOTE/DETAIL)	13
(B) DOOR	4-PLY 2x8x25'-3"	6'-7"	20"Ø	10"x20"Ø CONCRETE (SEE NOTE/DETAIL)	4
(C) SIDEWALL	4-PLY 2x8x25'-3"	7'-0"	30"Ø	15"x30"Ø CONCRETE (SEE NOTE/DETAIL)	2
(D) CORNER	3-PLY 2x8x25'-3"	6'-6"	18"Ø	9"x18"Ø CONCRETE (SEE NOTE/DETAIL)	4
(E) ENDWALL	3-PLY 2x8x29'-0"	6'-6"	18"Ø	9"x18"Ø CONCRETE (SEE NOTE/DETAIL)	4
(F) ENDWALL	3-PLY 2x8x32'-9"	6'-6"	18"Ø	9"x18"Ø CONCRETE (SEE NOTE/DETAIL)	4
(G) HEADER POST	3-PLY 2x8x2'-4"	---	---	HEADER POST B.E.=17' 3 1/4"	3



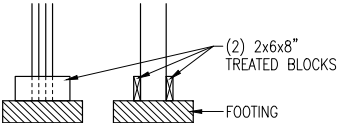
LADDER FRAME DETAIL A

LADDER FRAME DETAIL B



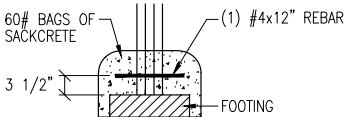
TYPICAL TRUSS PLACEMENT DETAIL

○ = ANCHOR COLUMNS WITH (2) 2x6x8" TREATED BLOCKS ATTACHED TO COLUMN WITH (4) 20d NAILS PER EACH BLOCK FOR UPLIFT
NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



COLUMN ANCHOR DETAIL

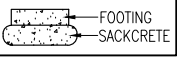
△ = ANCHOR COLUMNS WITH (3) 60# BAGS OF SACKCRETE AND (1) #4x12" REBAR FOR UPLIFT
◇ = ANCHOR COLUMNS WITH (6) 60# BAGS OF SACKCRETE AND (1) #4x12" REBAR FOR UPLIFT
NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



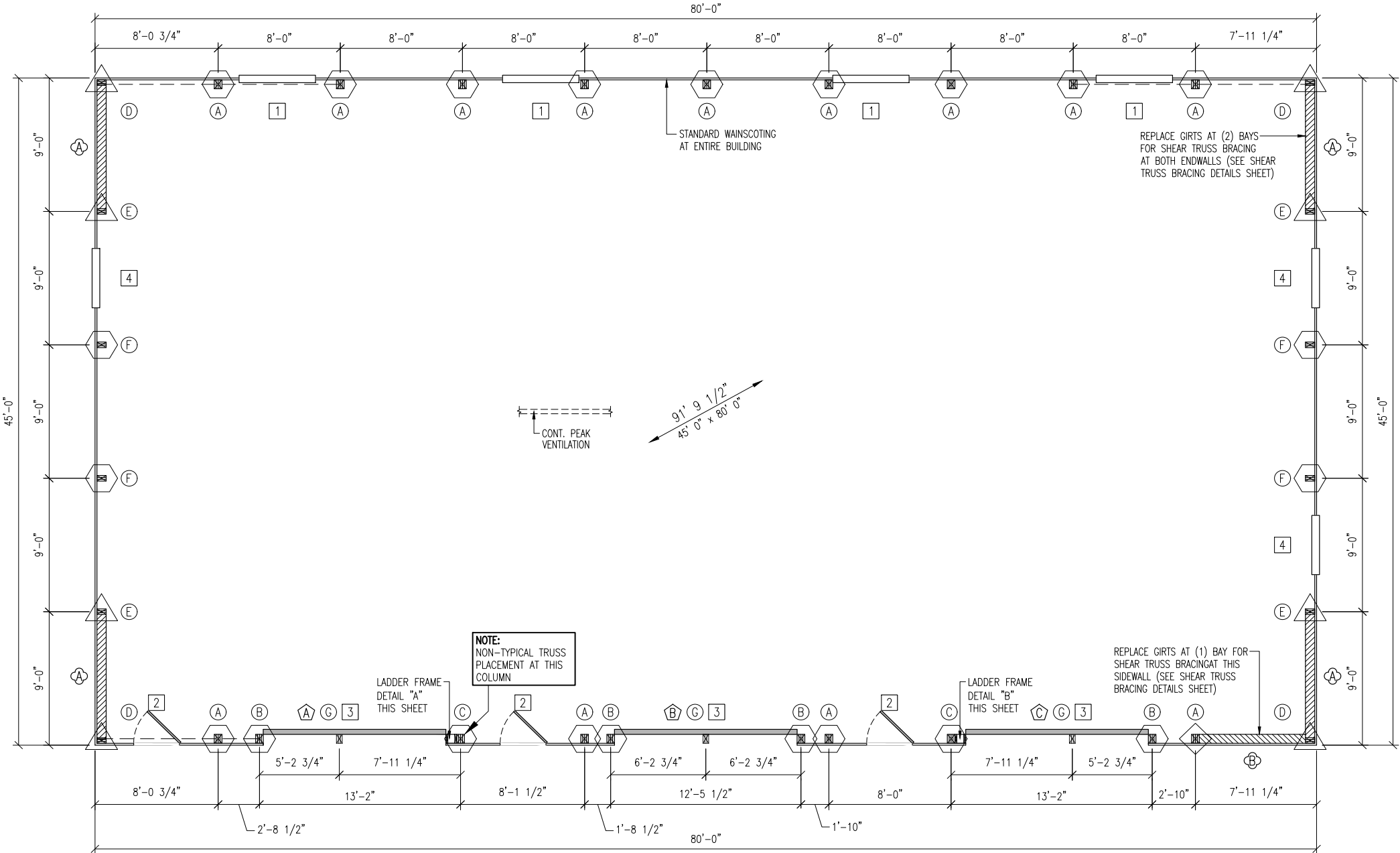
COLUMN ANCHOR DETAIL

BUILDING ACCESSORY SCHEDULE					
	ITEM	SIZE	B.E./T.E.	QTY	ROUGH OPENING & ACCESSORY FEATURES
1	FIXED LITE WINDOW	5' 0"x2' 0"	T.E. = 116' 0"	4	STANDARD, BRILLIANT, INSULATED DOUBLE PANE, STEP-SAVER
2	SOLID WALK DOOR	3' 0"x6' 8"	B.E. =100' 4"	3	R.O. 3' 4 3/8"x6' 9 3/4", STANDARD, BRILLIANT, KNOB/KNOB LOCKSET, KEYED ALIKE
3	OVERHEAD DOOR	12' 0"x16' 0"	B.E. =100' 4"	3	I.D. =11' 11 1/2", 13-20" HEADROOM OPTION WITHOUT LINER, DOOR NOT BY CLEARY
4	SINGLE HORIZ. WINDOW	4' 0"x3' 0"	T.E. = 107' 2"	3	STANDARD, BRILLIANT, INSULATED DOUBLE PANE, STEP-SAVER, SCREEN

NOTE:
9"x18"Ø CONCRETE = (2) 60# BAGS OF SACKCRETE PLACED UNDER
4"x14"Ø PRECAST FOOTING AS SHOWN
10"x20"Ø CONCRETE = (3) 60# BAGS OF SACKCRETE PLACED UNDER
4"x14"Ø PRECAST FOOTING AS SHOWN
12"x24"Ø CONCRETE = (5) 60# BAGS OF SACKCRETE PLACED UNDER
4"x14"Ø PRECAST FOOTING AS SHOWN
15"x30"Ø CONCRETE = (10) 60# BAGS OF SACKCRETE PLACED UNDER
4"x14"Ø PRECAST FOOTING AS SHOWN



NOTE:
153 TOTAL BAGS OF SACKCRETE REQUIRED FOR FOOTINGS AND COLUMN ANCHORAGE



NORTH

PROJECT NAME: VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS: 402 COMMERCE ST

HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE: 45' 0" x 80' 0" x 19' 7"

SHEET NAME: FLOOR PLAN

PROJECT NUMBER: 2024103660

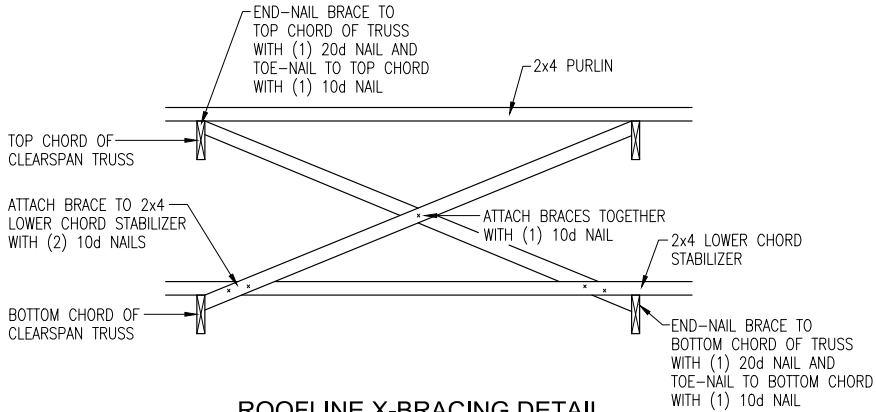
SHEET NUMBER: 120

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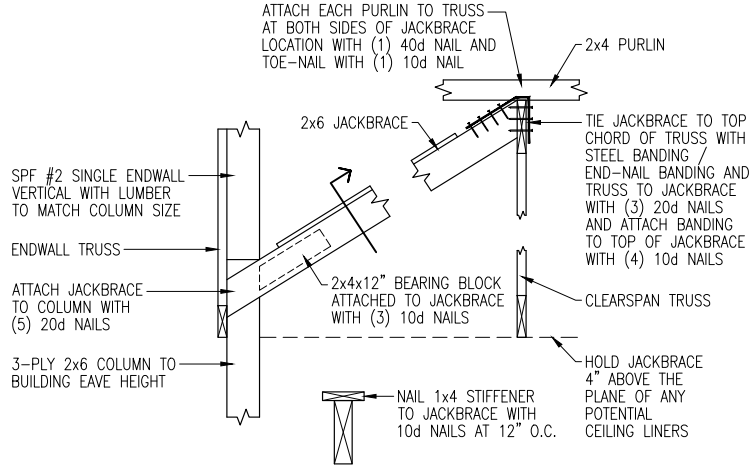


TRUSS INFORMATION			
#	DESCRIPTION	SCREW PLACEMENT	HOLE
1	TB44-9ENDWALL5WOHSEW	PURLINS NAILED	NONE
2	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
3	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
4	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
5	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
6	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
7	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
8	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
9	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
10	TA44-9EMSC54STST80C5TRUSS115W	PURLINS NAILED	NONE
11	TB44-9ENDWALL5WOHSEW	PURLINS NAILED	NONE

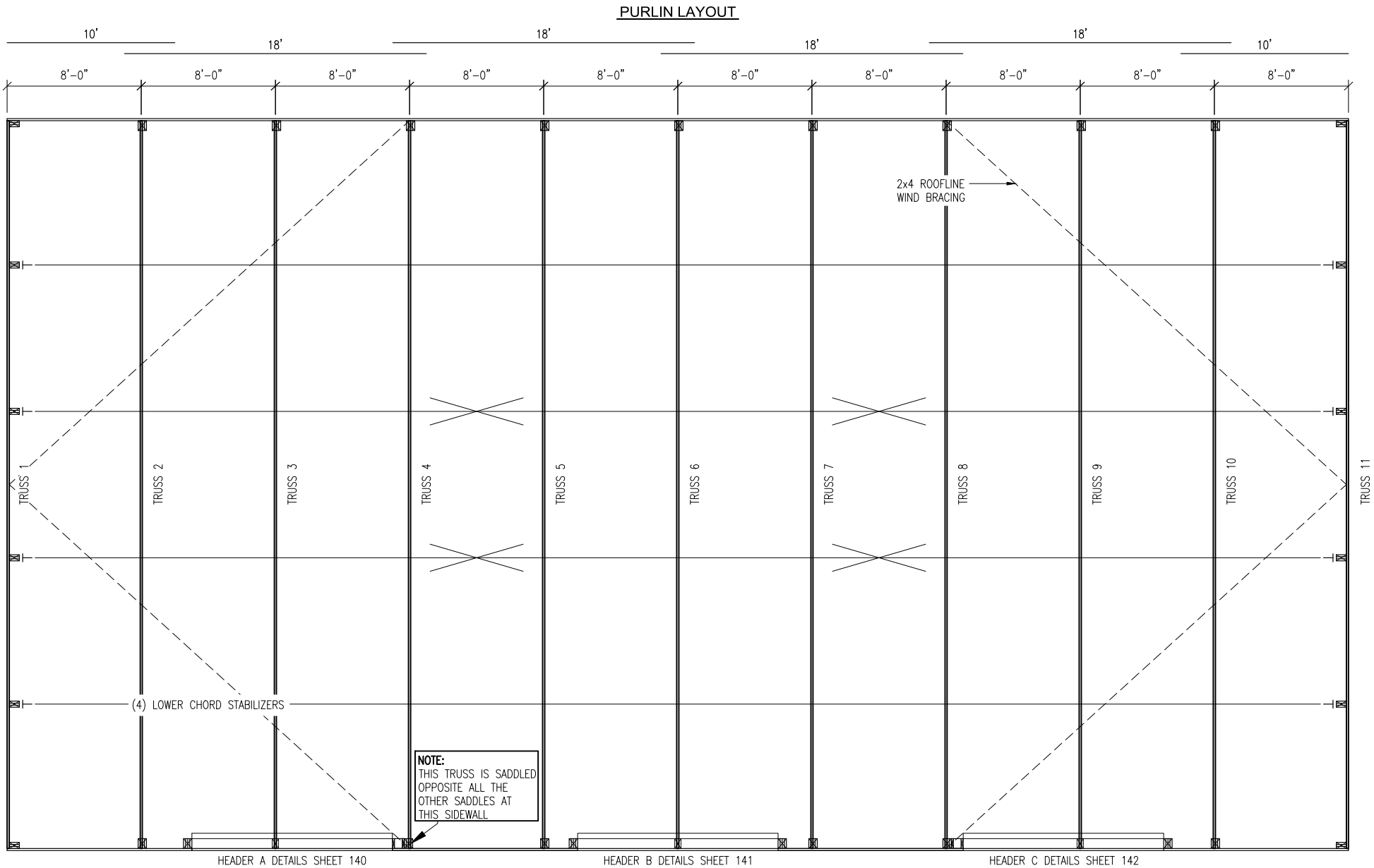
- NOTES:
- 2x6 JACKBRACING AT ENDWALL COLUMNS (NOT NEEDED AT FULL LENGTH COLUMNS)
— = LOCATION ON FLOOR PLAN FOR JACKBRACING
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - (< >) = BAYS WITH 2x4 ROOFLINE X-BRACING



ROOFLINE X-BRACING DETAIL
X-BRACING IS ATTACHED TO LOWER CHORD STABILIZER
SEE FLOOR PLAN FOR X-BRACE LOCATIONS

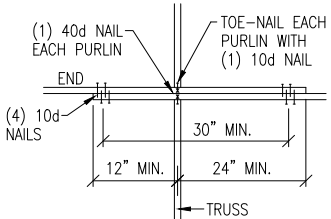


JACKBRACE DETAIL
AT ENDWALL COLUMNS

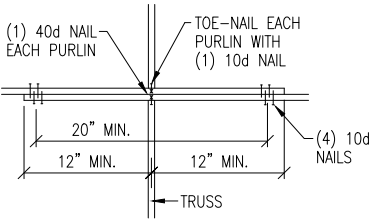


CONT. PURLIN DESIGN

CONSTRUCTION FOREMAN NOTE:
BE SURE TO MAINTAIN THE OVERALL LAP
DISTANCE AND THE SPACING FROM PURLIN
END TO CENTER OF TRUSS AS SHOWN



**PURLIN LAPS AT FIRST
TRUSS FROM EACH ENDWALL**



ALL REMAINING PURLIN LAPS



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: **KELLY GAFFNEY**

DATE DRAWN: **09/16/24**

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:
**402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)**

BUILDING SIZE:
45' 0" x 80' 0" x 19' 7"

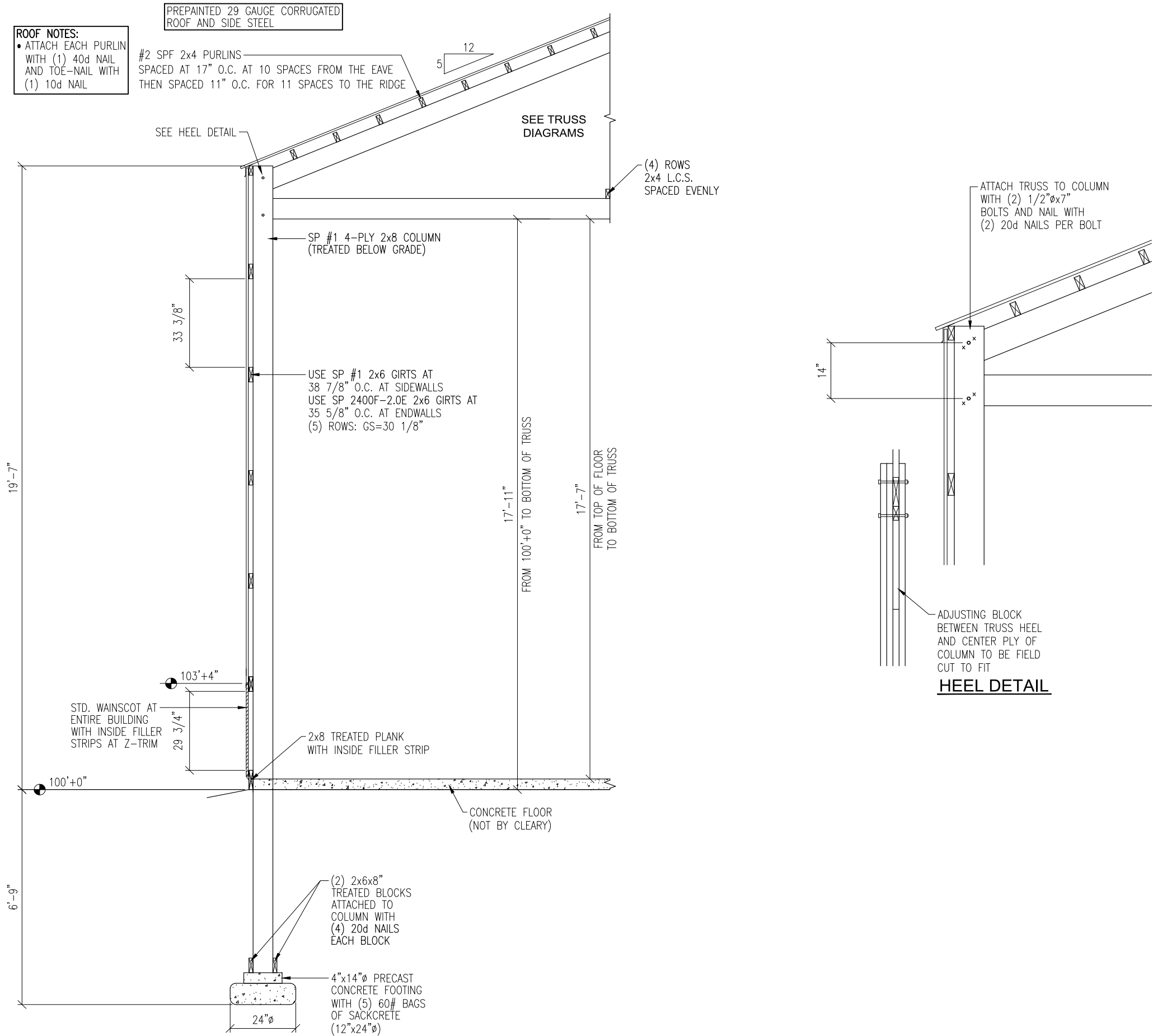
SHEET NAME:
ROOF FRAMING PLAN

PROJECT NUMBER:
2024103660

SHEET NUMBER:
125

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VERONA, WI 53593 / (800) 373-5550

DRAWN BY: KELLY GAFFNEY

DATE DRAWN: 09/16/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:

402 COMMERCE ST

HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:

45' 0" x 80' 0" x 19' 7"

SHEET NAME:

TYPICAL SECTION

PROJECT NUMBER:

2024103660

SHEET NUMBER:

130

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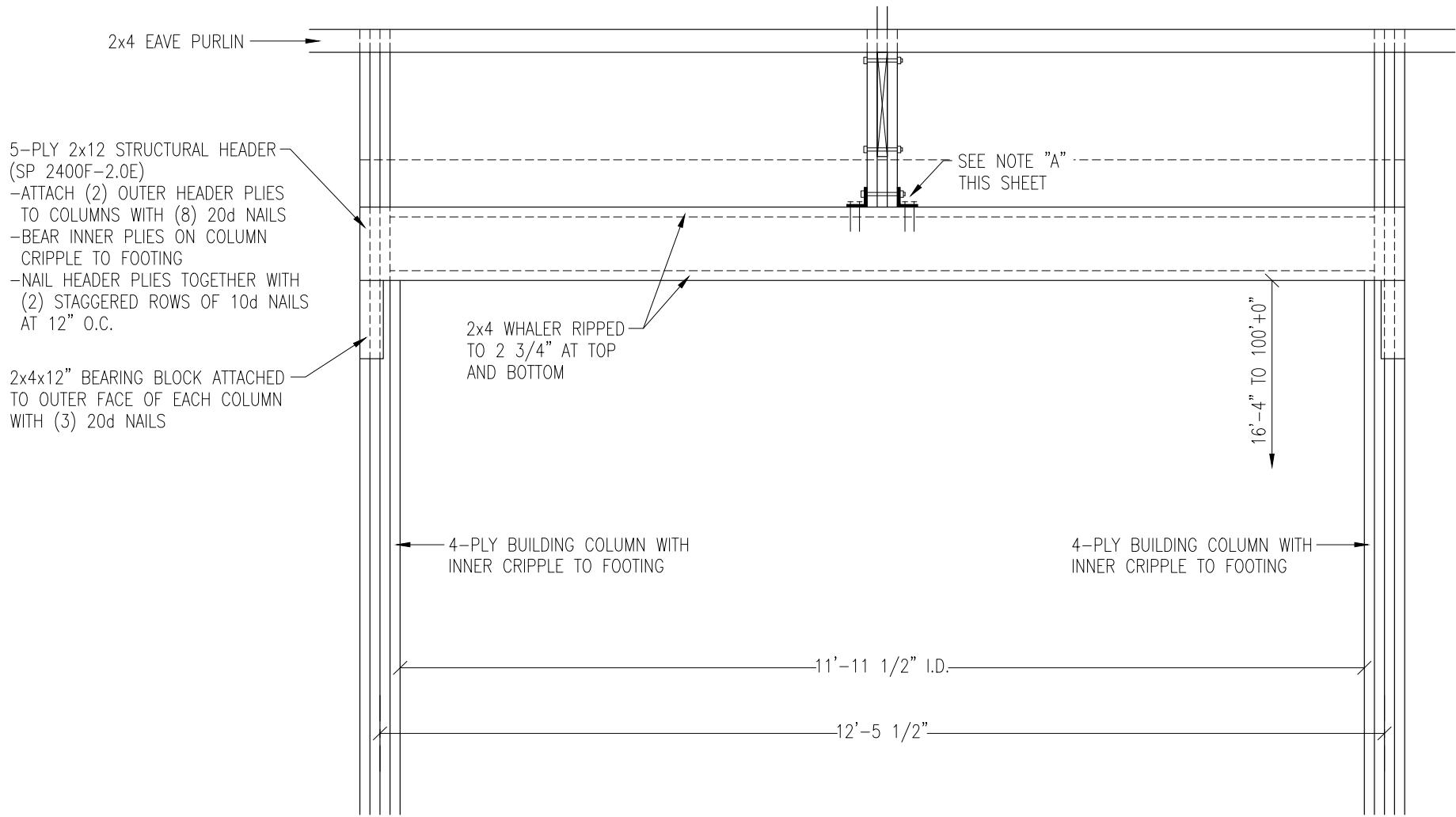
SHEET NAME:
HEADER DETAILS A

SHEET NUMBER:
140



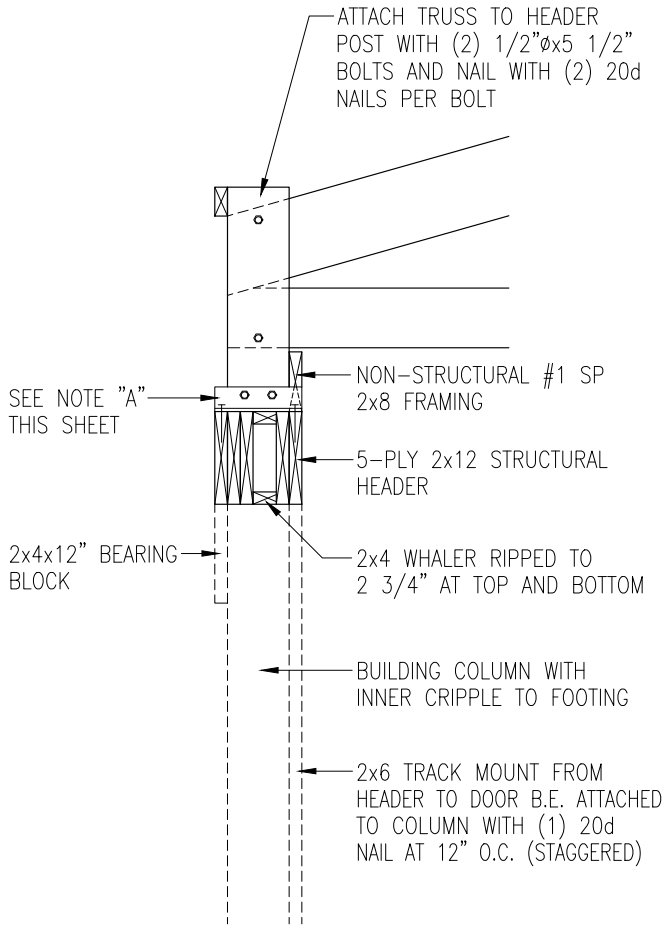
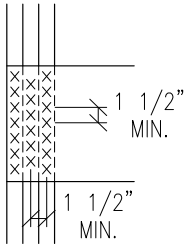
NOTE "A":
ATTACH HEADER POST TO HEADER WITH
(2) 2 1/2"x3"x10 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH
(2) 1/2"x6" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d
NAILS

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Date Printed: 9/27/2024 2:27 PM



12'x16' OVERHEAD DOOR HEADER DETAIL B
VIEW FROM OUTSIDE OF BUILDING

NOTE-NAILING ALTERNATIVE:
INSTALL (2) 3 1/2" x .131RS GUN NAILS FOR EACH 20d NAIL SPECIFIED (USE 20d NAILS IF NUMBER OF GUN NAILS REQUIRED REDUCES THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)



SECTION AT HEADER POST

NOTE "A":
ATTACH HEADER POST TO HEADER WITH (2) 2 1/2"x3"x10 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH (2) 1/2"Øx6" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d NAILS



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VERONA, WI 53593 / (800) 373-5550

DRAWN BY: KELLY GAFFNEY

DATE DRAWN: 09/16/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:

402 COMMERCE ST

HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:

45' 0" x 80' 0" x 19' 7"

SHEET NAME:
HEADER DETAILS B

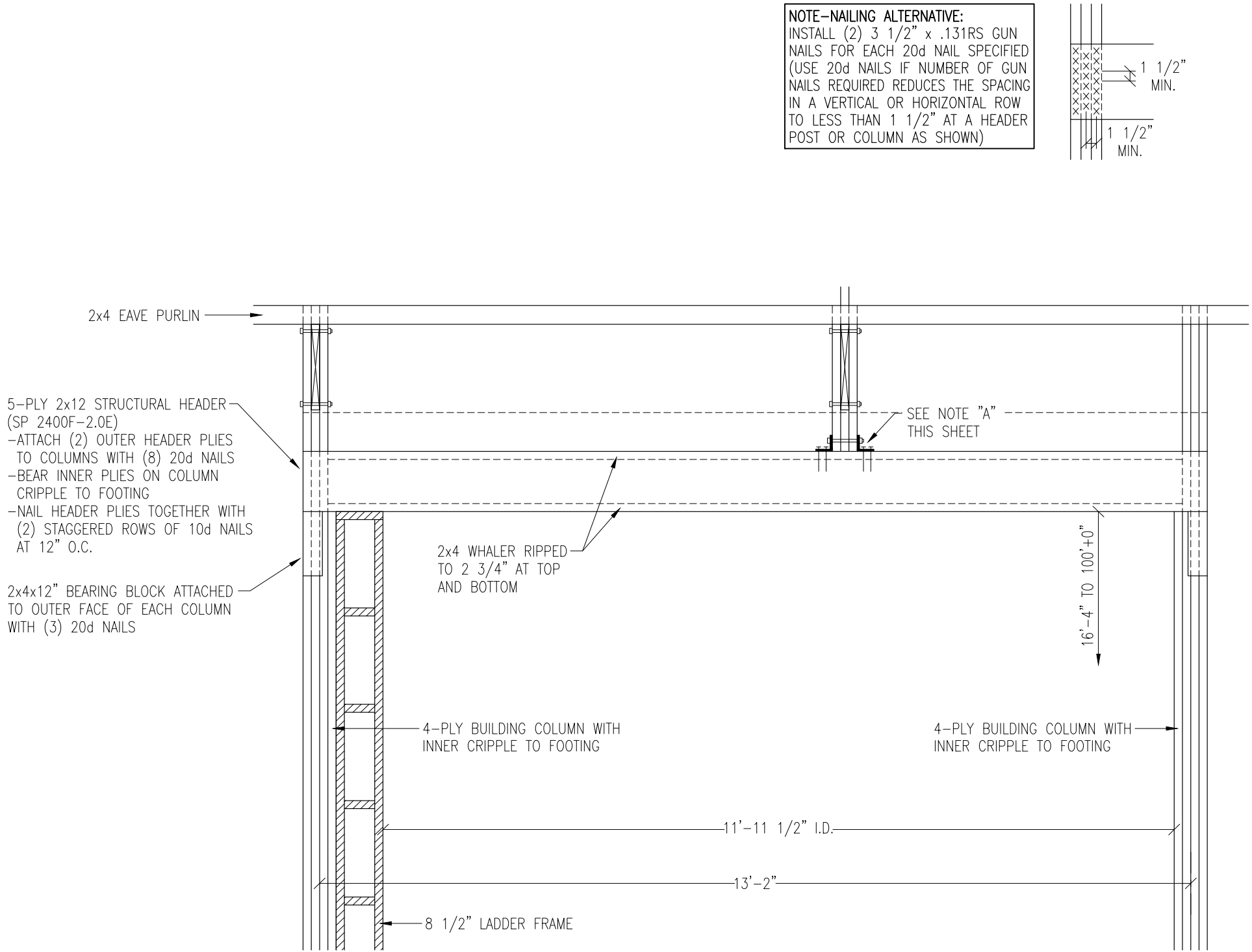
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2024103660

SHEET NUMBER:
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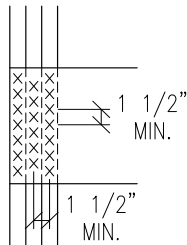
WHEN PRINTED ON 24"x36"
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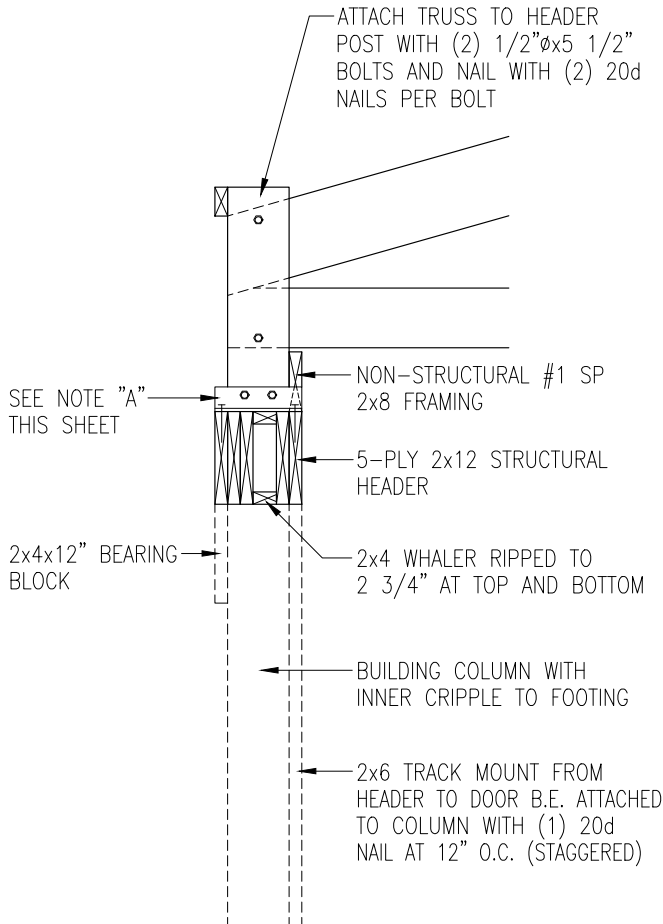
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NOTE-NAILING ALTERNATIVE:
INSTALL (2) 3 1/2" x .131RS GUN NAILS FOR EACH 20d NAIL SPECIFIED (USE 20d NAILS IF NUMBER OF GUN NAILS REQUIRED REDUCES THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)



12'x16' OVERHEAD DOOR HEADER DETAIL C
VIEW FROM OUTSIDE OF BUILDING



SECTION AT HEADER POST

NOTE "A":
ATTACH HEADER POST TO HEADER WITH (2) 2 1/2"x3"x10 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH (2) 1/2"x6" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d NAILS



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VERONA, WI 53593 / (800) 373-5550

DRAWN BY: KELLY GAFFNEY

DATE DRAWN: 09/16/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:

402 COMMERCE ST

HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:

45' 0" x 80' 0" x 19' 7"

SHEET NAME:

HEADER DETAILS C

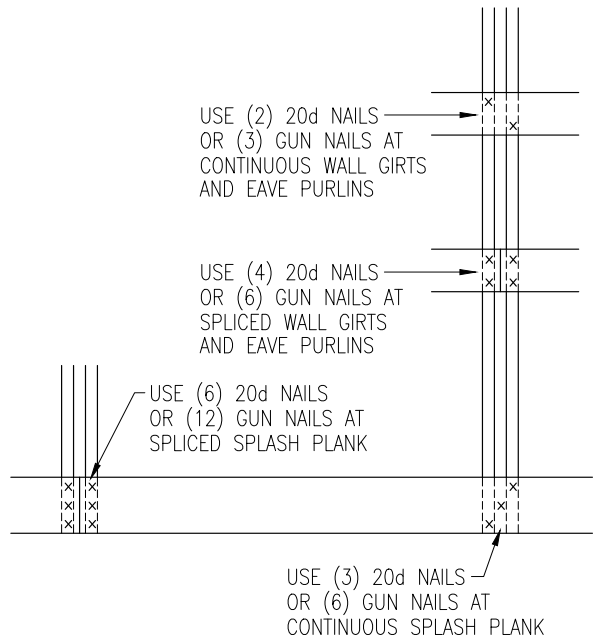
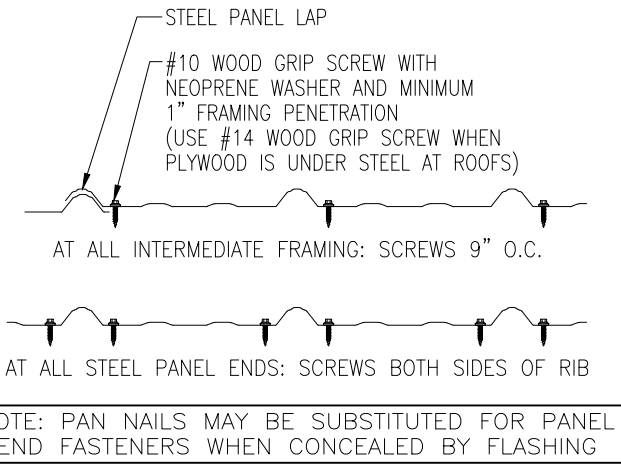
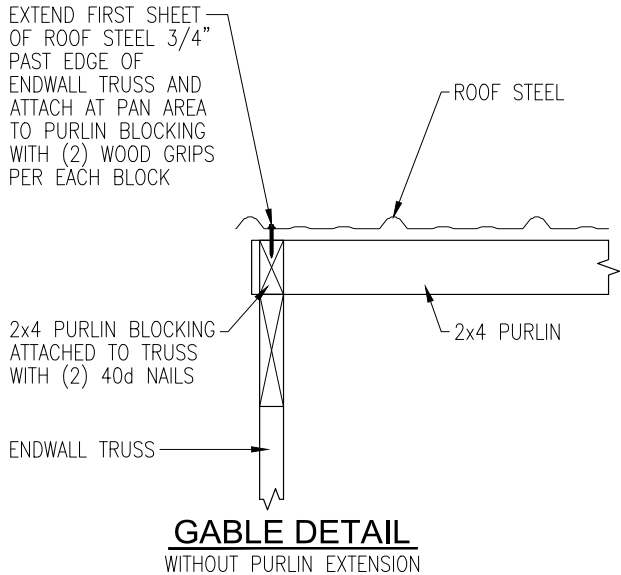
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SHEET NUMBER:
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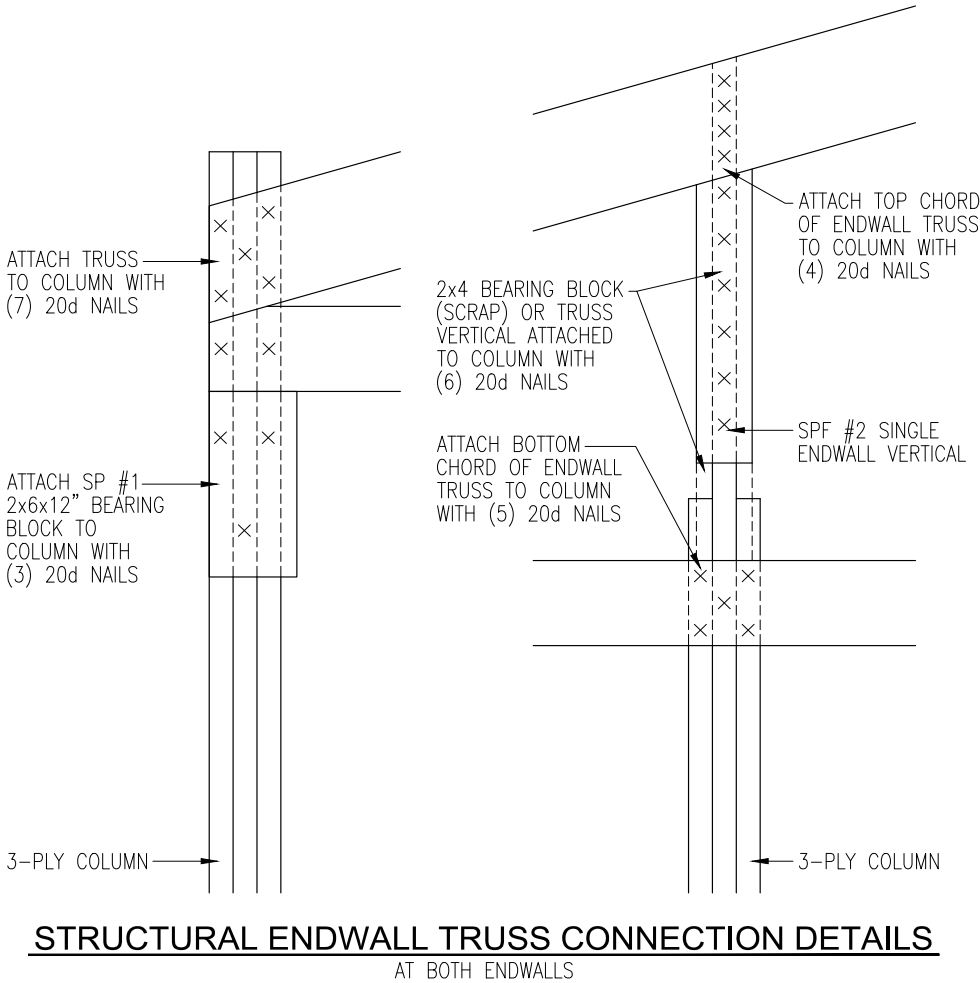


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NOTE: 20d NAILS TO BE RING SHANK HOT DIPPED GALVANIZED
GUN NAIL ALTERNATE = 0.131x3 1/2 RS-TLN

NOTE: SPLASH PLANK AT BRACING LOCATIONS REQUIRE
ADDITIONAL FASTENERS (SEE BRACING DETAIL SHEET)



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PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:
402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:
45' 0" x 80' 0" x 19' 7"

SHEET NAME:
DIAPHRAGM ACTION & MISC. DETAILS

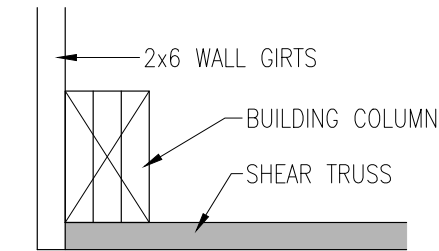
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SHEET NUMBER:
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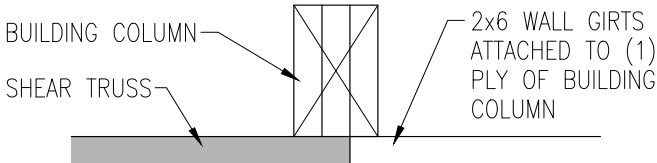
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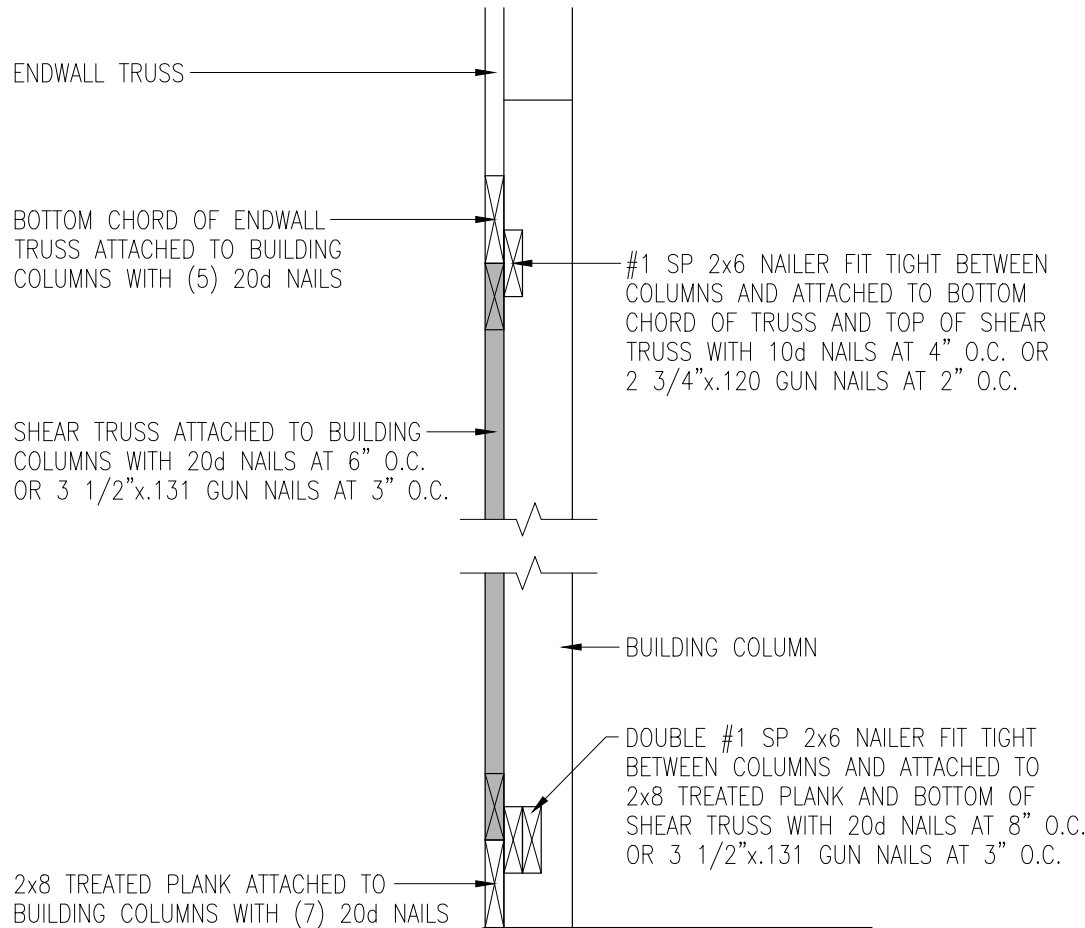
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Date Printed: 9/27/2024 2:28 PM



SHEAR TRUSS DETAIL
AT CORNER COLUMN



SHEAR TRUSS DETAIL
AT BUILDING COLUMN



ENDWALL SHEAR TRUSS SECTION

SEQN: 128488
FROM: JFE

FLAT
Qty: 1

Job Number: 2024103660
Truss Label: SA8-11-4x17-3-8SHEAR750

Cust. R7054 JRef: 1Y3I70540014 T3250
DwnNo: 267.24.1417.17653
DEH / FK 09/23/2024

TOP

BOTTOM

Loading Criteria (psf) TCLL: 1.00 TCDL: 1.00 BCLL: 0.00 BCDL: 1.00 Des Ld: 3.00 NCBCLL: 0.00 Soffit: 2.00 Load Duration: 1.60 Spacing: 12.0"	Snow Criteria (Pg, Pf in PSF) Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Building Code: IBC 2021 TPI Std: 2014 Rep Fac: No FT/RT/PT: 20(20)/10(10)/4(0) Plate Type(s): WAVE, HS	Defl/CSI Criteria PP Deflection in loc L/defl L/# VERT(LL): 0.001 B 999 240 VERT(CL): 0.001 B 999 180 HORZ(LL): -0.027 B - - HORZ(TL): 0.027 B - - VIEW Ver: 21.01.01.0429.14	Maximum Reactions (lbs) Gravity Loc R+ / R- / Rh / Rw / U / RL Non-Gravity Loc R+ / R- / Rh / Rw / U / RL E - - / - / - / 96 / 79 / 372 W - - / - / - / 116 / 99 / 372 Wind reactions based on MWFRS E Brg Wid = 5.5 Min Req = 1.5 W Brg Wid = 5.5 Min Req = 1.5 Bearings E & W are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. A - B 743 -745
--	--	--	--

Lumber
Top chord: 2x6 SP 2400f-2.0E;
Bot chord: 2x6 SP 2400f-2.0E;
Webs: 2x6 SP 2400f-2.0E; W1, W13 2x4 SP #2; W5, W8 2x8 SP 2400f-2.0E;

Loading
Truss transfers a maximum horizontal load of 750 # (89.78 plf) along top chord, from either direction, to supports where indicated. Diaphragm and connections are to be designed by Engineer of Record.
Drag Loads: Force(#) (PLF) Mbr Start End
Case 1: 750 89.78 TC 0.29 8.65
750 89.78 BC 0.29 8.65

See Cleary Building Corp. drawing for bearing attachment and bottom chord bracing details. This designs applies to both open wall and enclosed wall buildings.

In lieu of structural panels or rigid ceiling use purlins to brace TC @ 24" OC.

Maximum Web Forces Per Ply (lbs)
Webs Tens.Comp. Webs Tens. Comp.
A - F 693 -701 L - P 1028 -1028
A - K 1010 -1010 O - C 1019 -1019
E - J 790 -798 P - C 1032 -1032
E - L 1024 -1024 C - U 642 -651
F - G 491 -499 S - T 474 -482
I - J 567 -575 T - C 740 -749
K - O 1015 -1015 U - V 376 -384

ALPINE
AN ITW COMPANY
155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
****IMPORTANT**** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have continuous lateral restraint (CLR), installed with diagonal bracing installed on the CLR per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Refer to job's General Notes page for additional information.
Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.
For more information see these web sites: Alpine: alpineitw.com; TPI: tpinst.org; SBCA: sbcacomponents.com; ICC: iccsafe.org; AWC: awc.org

FOREMAN NOTE:
TO ENSURE PROPER INSTALLATION OF SHEAR TRUSS,
PLEASE NOTE TOP AND BOTTOM NOTED ON DIAGRAM AND
VERIFY ENDWALL GIRT SPACING PRIOR TO INSTALLATION



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DRAWN BY: KELLY GAFFNEY

DATE DRAWN: 09/16/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:
402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:
45' 0" x 80' 0" x 19' 7"

SHEET NAME:
SHEAR TRUSS BRACING DETAILS A

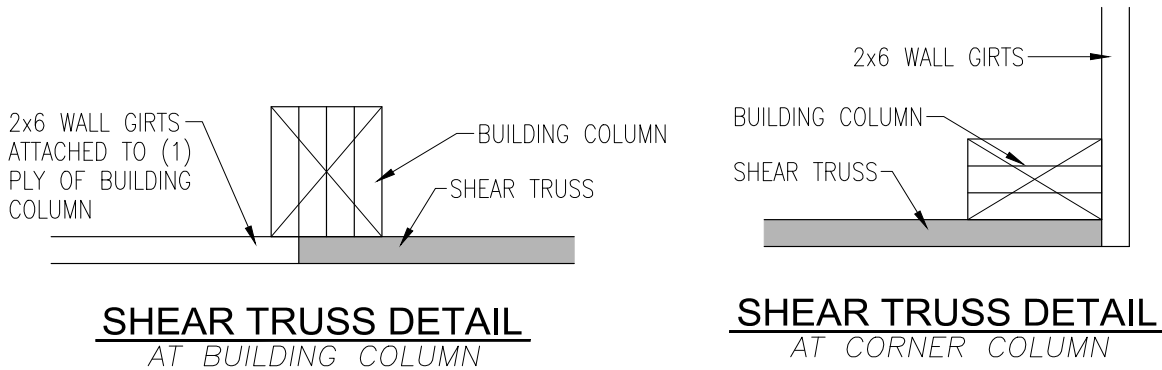
PROJECT NUMBER:
2024103660

SHEET NUMBER:
160

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2x6 EAVE PURLIN ATTACHED TO BUILDING COLUMNS WITH (5) 20d NAILS

#1 SP 2x6 NAILER FIT TIGHT BETWEEN COLUMNS AND ATTACHED TO BOTTOM OF 2x6 EAVE PURLIN AND TOP OF SHEAR TRUSS WITH 10d NAILS AT 4" O.C. OR 2 3/4"x.120 GUN NAILS AT 2" O.C.

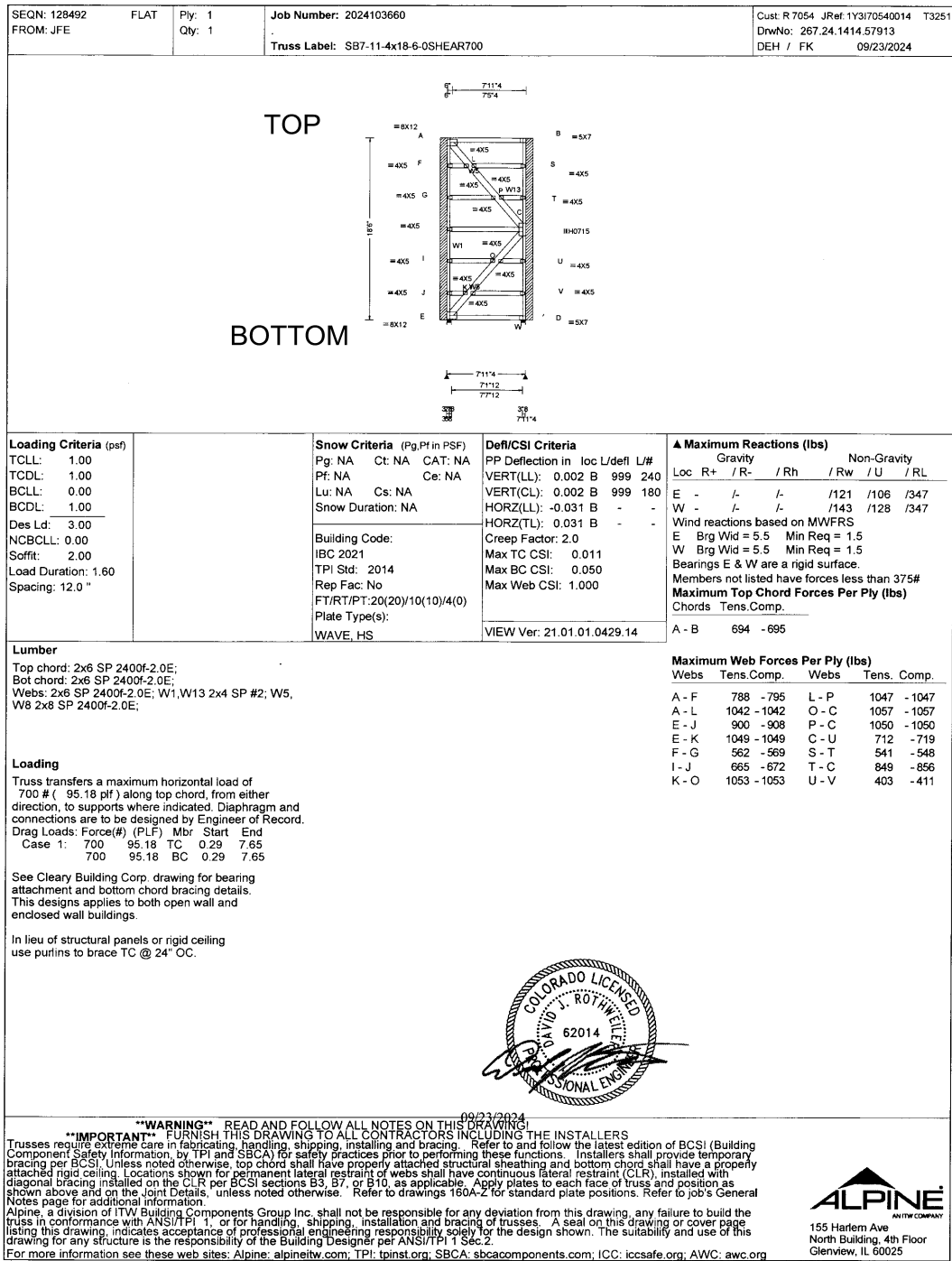
SHEAR TRUSS ATTACHED TO BUILDING COLUMNS WITH 20d NAILS AT 6" O.C. OR 3 1/2"x.131 GUN NAILS AT 3" O.C.

BUILDING COLUMN

DOUBLE #1 SP 2x6 NAILER FIT TIGHT BETWEEN COLUMNS AND ATTACHED TO 2x8 TREATED PLANK AND BOTTOM OF SHEAR TRUSS WITH 20d NAILS AT 8" O.C. OR 3 1/2"x.131 GUN NAILS AT 3" O.C.

2x8 TREATED PLANK ATTACHED TO BUILDING COLUMNS WITH (7) 20d NAILS

SIDEWALL SHEAR TRUSS SECTION



FOREMAN NOTE:
TO ENSURE PROPER INSTALLATION OF SHEAR TRUSS,
PLEASE NOTE TOP AND BOTTOM NOTED ON DIAGRAM AND
VERIFY ENDWALL GIRT SPACING PRIOR TO INSTALLATION



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DRAWN BY: KELLY GAFFNEY

DATE DRAWN: 09/16/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:

402 COMMERCE ST

HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:

45' 0" x 80' 0" x 19' 7"

SHEET NAME:

SHEAR TRUSS BRACING DETAILS B

PROJECT NUMBER:
2024103660

SHEET NUMBER:
161

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PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:

402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)

BUILDING SIZE:

SHEET NAME:

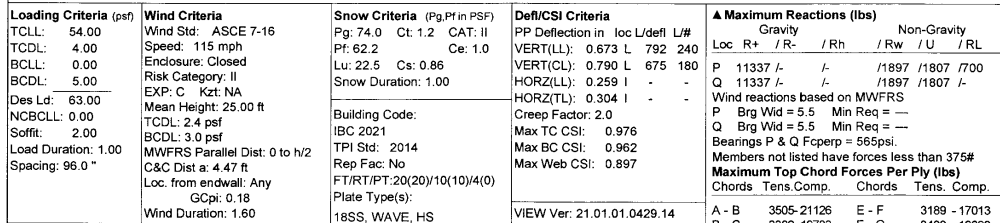
PROJECT NUMBER:
2024103660

SHEET NUMBER:
170

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STRUCTURAL ENDWALL TRUSS



Lumber	B - C	3362- 19783	F - G	3408 - 19099
Top chord: 2x12 SP 2400f-2.0E;	C - D	3408- 19099	G - H	3382 - 19783
Bot chord: 2x10 SP 2400f-2.0E;	D - E	3189- 17013	H - I	3505 - 21126
Webbs: 2x4 SP #2; W3,W6 2x8 SP 2400f-2.0E; W4, W5 2x6 SP #1;				
Lt Wedge: 2x8 SP #1; Rt Wedge: 2x8 SP #1;				
	Maximum Tot.Chord Forces Per Ply (lbs)			
	Chords	Tens.Comp.	Chords	Tens. Comp.

Bracing	A - O	18807 ~ 2935	L - K	17097 ~ 2460
(a) #3 or better scab reinforcement. Same size & 80% length of web member. Attach with 10d Box or Gun	O - N	17097 ~ 2460	K - J	17097 ~ 2460
(0.128"x3" min.) nails @ 6" oc.	N - M	17097 ~ 2460	J - I	18807 ~ 2935
	M - L	13073 ~ 1596		

Loading	B - O	562 - 1558	E - L	6272 - 863
Truss designed for unbalanced snow loads.	O - D	1330 - 225	L - F	1083 - 5906
Slope reduction based on Unobstructed Slippery Surface.	D - M	1083 - 5906	F - J	1330 - 225

Wind
Wind loads based on MWFRS with additional C&C member design.

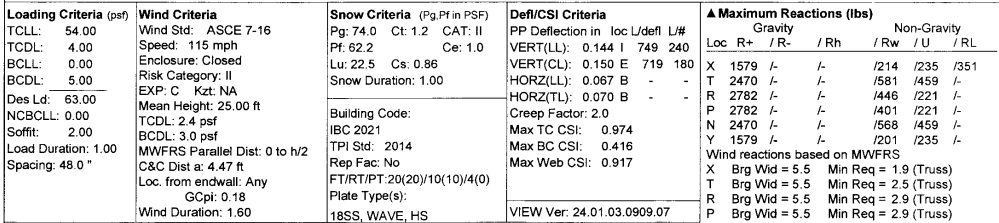
Wind loading based on both gable and hip roof types.

See Cleary Building Corp. drawing for bearing attachment and bottom chord bracing details. This designs applies to both open wall and enclosed wall buildings.



In lieu of structural panels or rigid ceiling
use purlins to brace TC @ 24" OC.

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
****IMPORTANT**** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.
Trusses require additional care in fabricating, handling, shipping and bracing. Refer to and follow the latest edition of BCSI Building Component Safety Information by TPI and SBCA for safety practices prior to performing these functions. Installers shall provide temporary bracing for all trusses until they are fully installed and secured. Trusses shall be supported by structural sheathing and bottom chord members shall be attached near ceiling. Locations shown for permanent lateral restraint of webs shall have continuous lateral restraint (CLR), installed with blocking or struts at each plate position. Apply plates to each face of true chord. Plates shall be applied as shown unless otherwise shown above and on the joint details. Refer to drawings 160A-Z for standard plate positions. Refer to job's General Notes for more information.
ALPINE STEEL COMPONENTS
Alpine, a division of ITW Building Components Group Inc., shall not be responsible for any deviation from this drawing, any failure to build according to this drawing, or any other consequences resulting from the construction of these components based on this drawing. Acceptance of professional engineering responsibility shall be for the design shown. The suitability and use of this product for any particular application is solely the user's responsibility. See www.alpinegroup.com for more information.
For more information, see these web sites: Alpine, alpinegroup.com; TPI, tpi.net; SPCA, sbcacomponents.com; ICC, iccsafe.org; AWC, awc.org



Lumber	Loading	N Brg Wid = 5.5 Min Req = 2.5 (Truss)
Top chord: 2x8 SP 2400F-2.0E; T2,T3 2x8 SP #1;	Truss designed for unbalanced snow loads.	Y Brg Wid = 5.5 Min Req = 1.9 (Truss)
Bot chord: 2x6 SP #1;	Slope reduction based on Unobstructed Slippery Surface.	Bearings T, R, P, & N are rigid surface.
Webs: 2x4 SP #2; W2,W4,W6,W8 2x6 SP #1;		Bearings X & Y Fcperp = 565psi.
Lt Slider: 2x8 SP #1; block length = 2.44'	Wind	Members not listed have forces less than 375#
Rt Slider: 2x8 SP #1; block length = 2.44'	Wind loads based on MWFRS with additional C&C	Maximum Top Chord Forces Per Ply (lbs)

Bracing		Chords	Tens. Comp.	Chords	Tens. Comp.
(a) Continuous lateral restraint, equally spaced on member.	Wind loading based on both gable and hip roof types.	A - B	282 - 1855	G - H	268 - 1072
	Cable Stays	B - C	282 - 1640	H - I	149 - 659

<p>(b) #3 or better scab reinforcement. Same size & 80% length of web member. Attach with 10d Box or Gun (0.128"x3",min.)nails @ 6" oc.</p>	Galv Studs	C - D	465 - 1802	I - J	480 - 1592
		D - E	480 - 1592	J - K	465 - 1802
		E - F	149 - 659	K - L	238 - 1640
		F - G	268 - 1072	L - M	226 - 1855
	Dashed pieces are not analyzed and are optional; and may be attached at each end to adjacent pieces and members with connector plates, staples, nails, or other fasteners.				

Plating Notes		Maximum Bolt Chord Forces Per Ply (lbs)			
		Chords		Tens. Comp.	
		Chords	Tens. Comp.	Chords	Tens. Comp.
(SP) Supplemental plates are not required and have not been analyzed or sized for member forces.	See Cleary Building Corp. drawing for bearing attachment and bottom chord bracing details.	A - T	1358 - 128	Q - P	1274 - 110
Handling stresses not considered for plates. Handling of this truss requires special care by truss manufacturer and installation contractor to prevent plate damage.	This designs applies to both open wall and enclosed wall buildings.	T - S	1300 - 115	P - O	1300 - 108
	In lieu of structural panels or rigid ceiling use purins to brace TC @ 24" O.C.	S - R	1300 - 115	O - N	1300 - 108
		R - Q	1274 - 110	N - M	1358 - 114

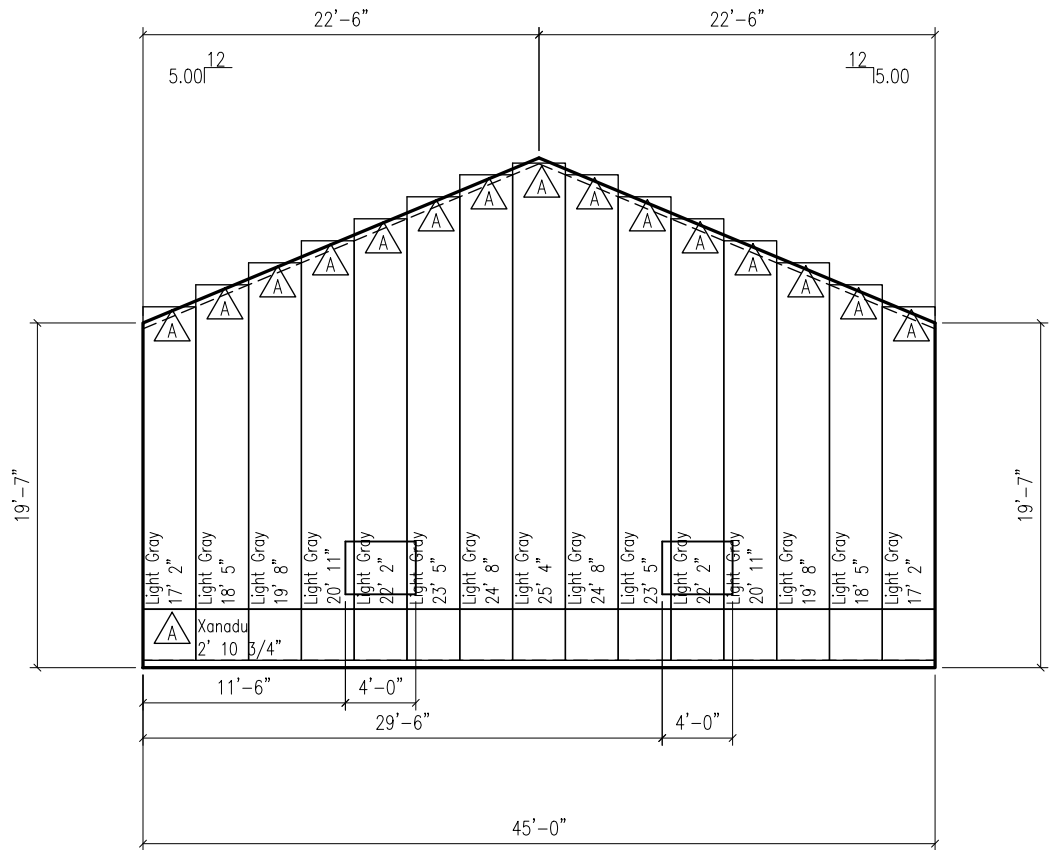
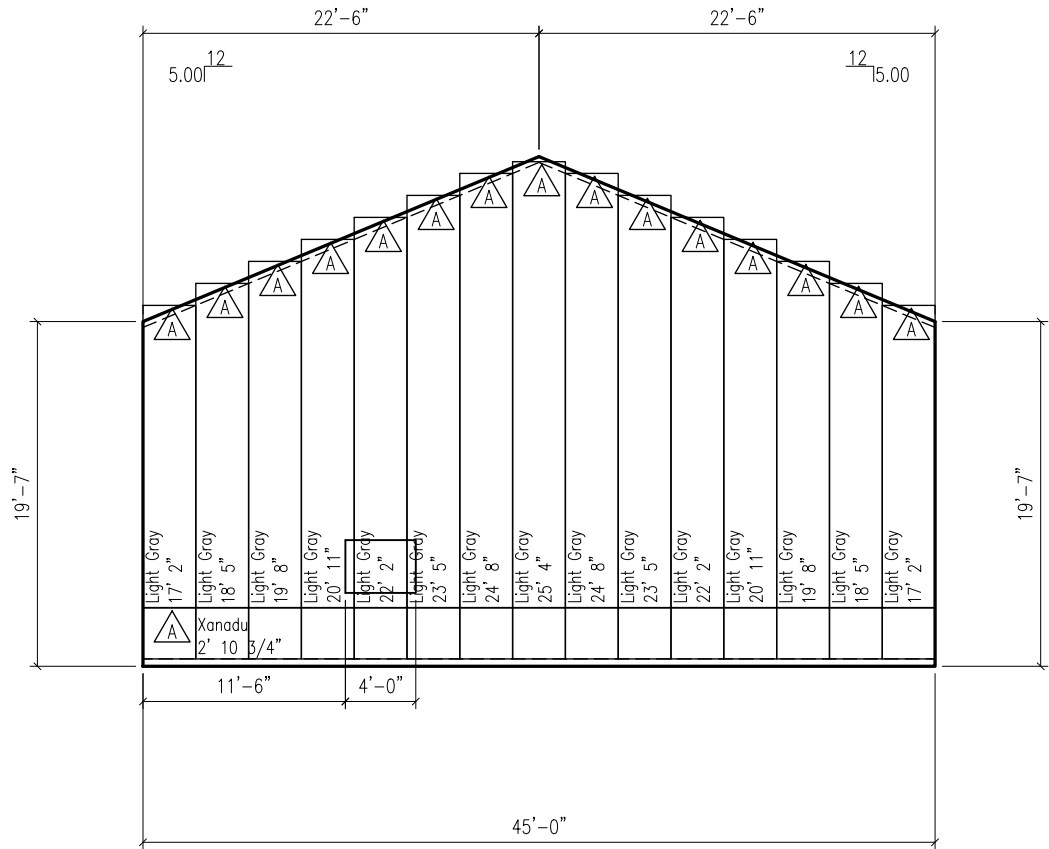
Additional Notes	Maximum Web Forces Per Ply (lbs)					
	Webs	Tens.	Comp.	Webs	Tens.	Comp.
Truss has been designed for vertical in-plane loads only. Any lateral/horizontal wind loads shall be transferred into the roof and ceiling diaphragms. Connection and design of these systems is the responsibility of the Building Designer in accordance with ANSI/TPI 1.	C - T	578	-2303	V - W	385	-668
	E - U	388	-696	W - P	305	-2536
	F - U	269	-2476	W - H	269	-2476
	U - R	305	-2536	W - I	388	-696



****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING.
 THIS DRAWING IS TO BE USED IN FABRICATING, HANDLING, AND INSTALLING THE FOLLOWING COMPONENTS:
 Trusses, roof and exterior walls. Refer to and follow the latest edition of BCSI (Building Components Safety Institute) Component Safety Information, by TPI and SBCA for safety practices prior to performing these functions. Installers shall provide temporary bracing for all trusses and exterior walls until the permanent bracing is installed. The trusses and exterior walls shall be attached to rigid ceiling. Locations shown for permanent lateral restraint of webs shall have continuous lateral restraint (CLR), installed with 2x4 blocking and 2x6 bracing. Locations shown for temporary lateral restraint shall have 2x4 blocking and 2x6 bracing. Apply plates to each face of the trusses and exterior walls as shown above and on the joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Failure to job's General Notes and details may void the warranty.
 Alpine, a division of ITW Building Components Group Inc, shall not be responsible for any deviation from this drawing, any failure to build the trusses and exterior walls as shown, or any failure to follow the instructions of this drawing. The use of this drawing, without the listing this drawing, indicates acceptance of professional engineering responsibility for the design shown. The suitability and use of this drawing for any other application is not intended. For more information see these web sites: Alpine, alpineitw.com; TPI, tpiirst.com; SBCA, sbcacompcomponents.com; ICC, iccsafe.org; AWC, awc.org

ALPINE
 BUILDING COMPANY
 155 Harten Ave
 North Building, 4th Floor
 Glenview, IL 60025





TRIM COLORS	
TRIM (TYP.):	Xanadu
F&J TRIM:	

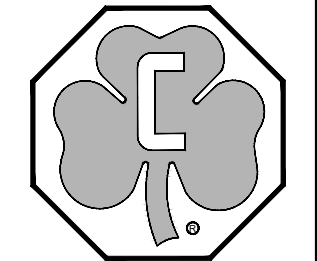
PANEL FINISH TYPES	
A	Panel-Loc Plus - Prime SMP G90

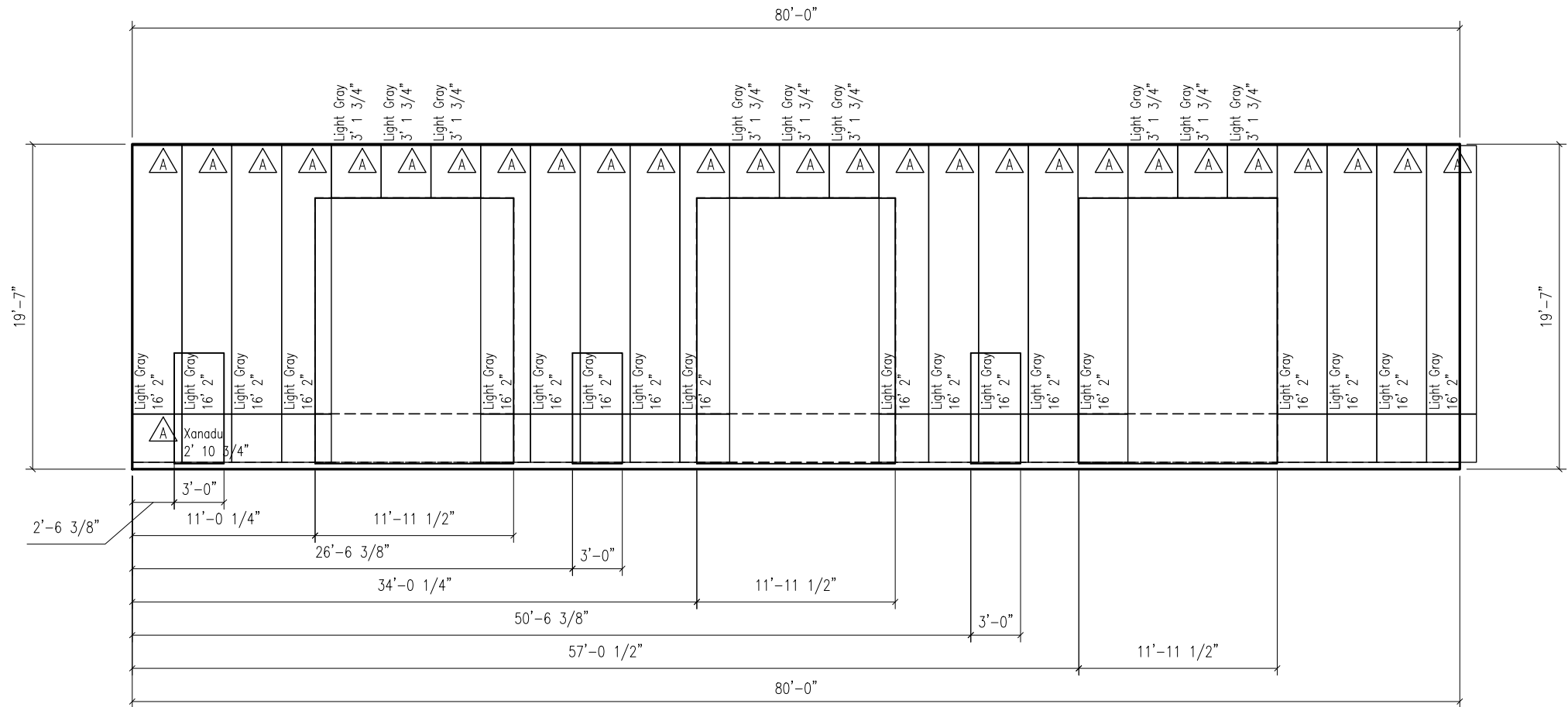
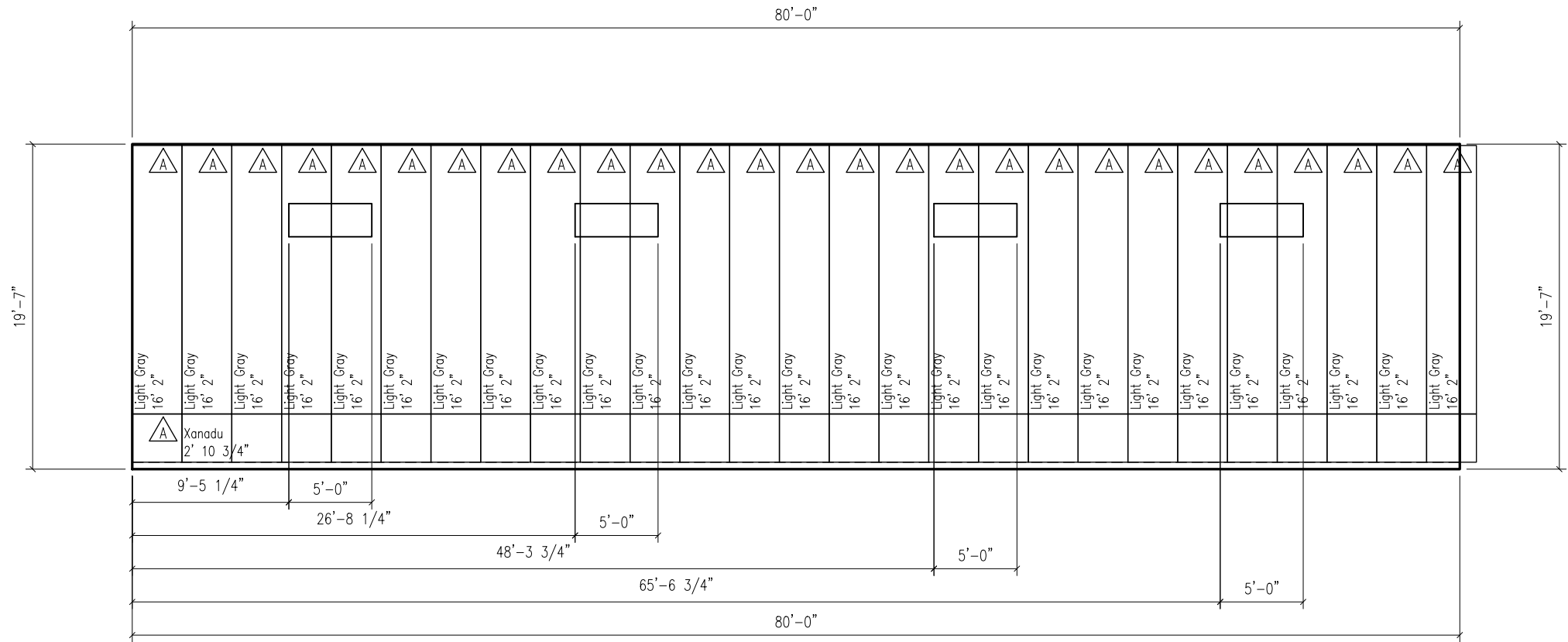
<div><div><div><div><div><div></div><div>CLEARY</div><div>BUILDING CORP.</div></div><div><div>190 PAOLI STREET / P.O. BOX 930220 VERONA, WI 53593 / (800) 373-5550</div></div></div><div><div>DRAWN BY: RICHARD GILLITZER</div><div>DATE DRAWN: 10/09/24</div><div>PLAN REVISIONS:</div><table><tr><th>NUMBER</th><th>DATE</th><th>BY</th></tr><tr><td>1</td><td></td><td></td></tr><tr><td>2</td><td></td><td></td></tr><tr><td>3</td><td></td><td></td></tr><tr><td>4</td><td></td><td></td></tr></table></div></div></div></div>			NUMBER	DATE	BY	1			2			3			4		
NUMBER	DATE	BY															
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2																	
3																	
4																	

PROJECT NAME: VASQUEZ/SHAMROCK, GILBERTO		
PROJECT SITE ADDRESS: 402 COMMERCE ST HAYDEN, CO 81639 (ROUTT)		
BUILDING SIZE: 45' 0" x 80' 0" x 19' 7"		
SHEET NAME: STEEL LAYOUT		

PROJECT NUMBER: 2024103660
SHEET NUMBER: 180

WHEN PRINTED ON 24"x36"
PAPER SCALE IS N.T.S.





PANEL FINISH TYPES	
A	Panel-Loc Plus - Prime SMP G90



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DATE DRAWN: 10/09/24

PLAN REVISIONS:

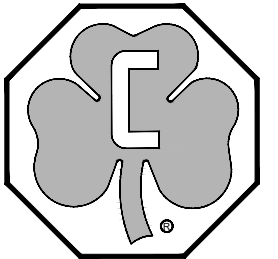
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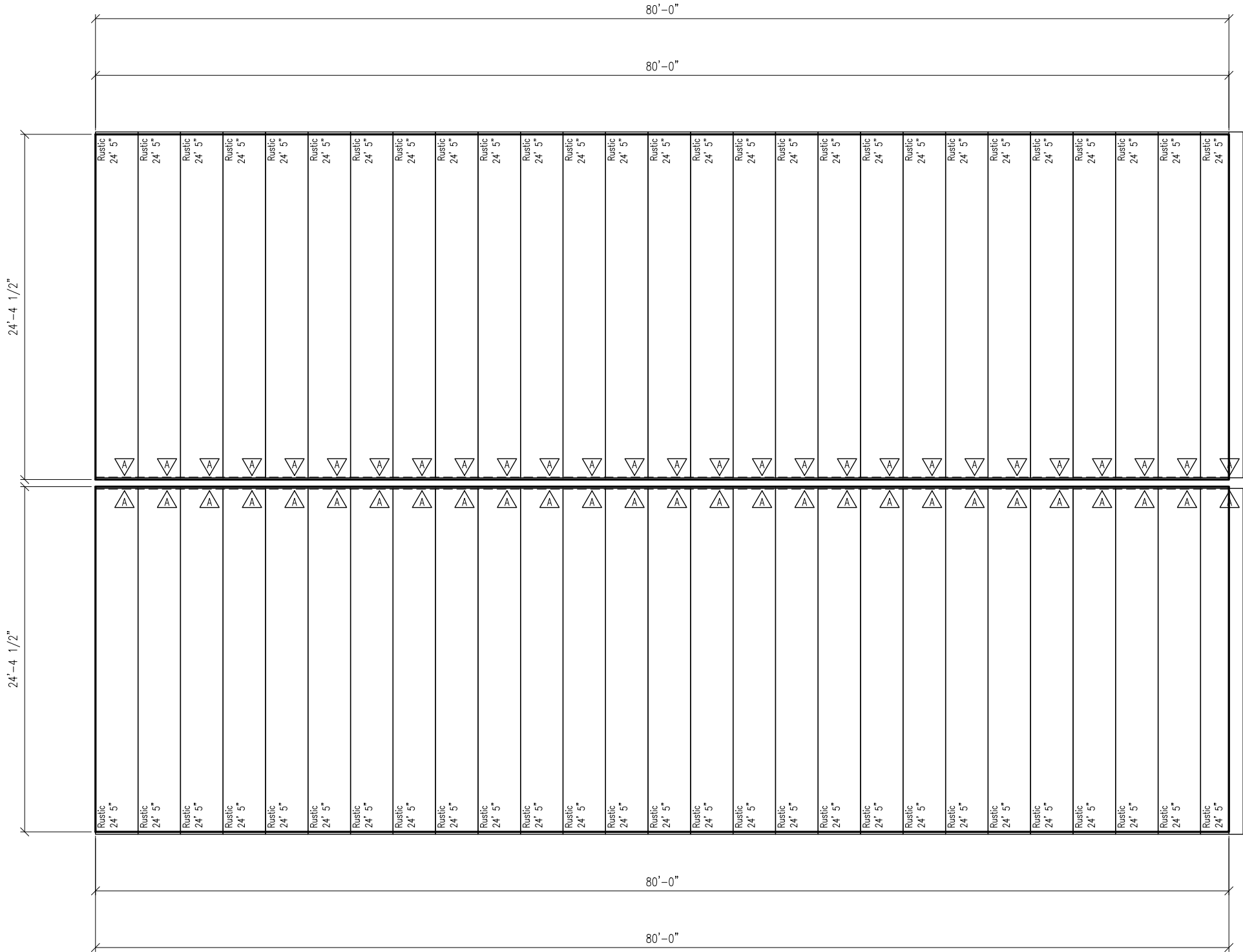
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VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:
402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)
BUILDING SIZE:
45' 0" x 80' 0" x 19' 7"
SHEET NAME:
STEEL LAYOUT

PROJECT NUMBER:
2024103660
SHEET NUMBER:
181

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PANEL FINISH TYPES	
A	Panel-Loc Plus - Prime SMP G90



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VERONA, WI 53593 / (800) 373-5550

DRAWN BY: *RICHARD GILLITZER*

DATE DRAWN: *10/09/24*

PLAN REVISIONS:

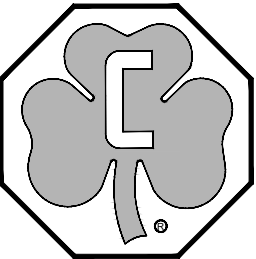
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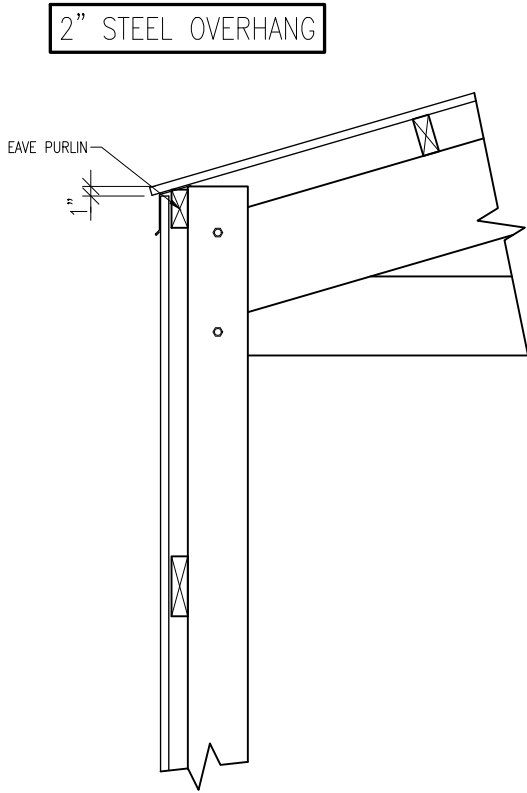
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VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:
402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)
BUILDING SIZE:
45' 0" x 80' 0" x 19' 7"
SHEET NAME:
ROOF STEEL LAYOUT

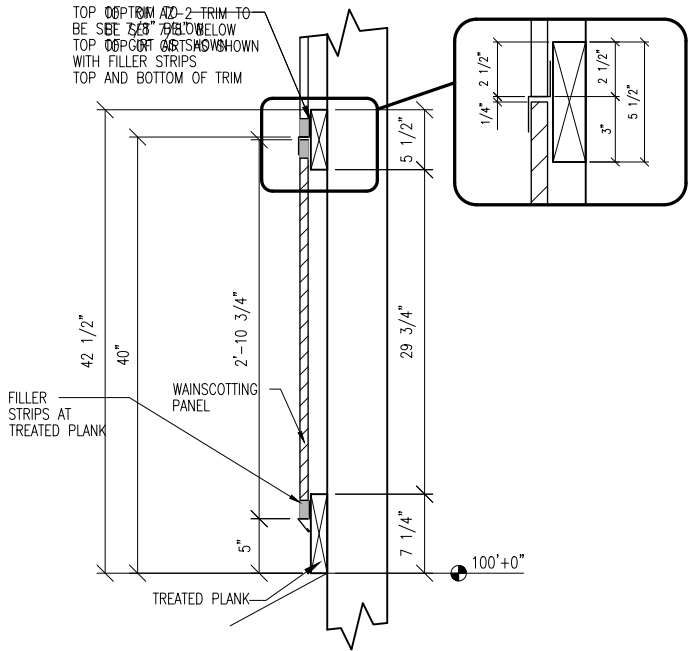
PROJECT NUMBER:
2024103660
SHEET NUMBER:
182

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TOP LAYOUT
WAINSCOTE ONLY



BOTTOM LAYOUT
STANDARD WAINSCOTE



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DATE DRAWN: 10/09/24

PLAN REVISIONS:

NUMBER	DATE	BY
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3		
4		

PROJECT NAME:
VASQUEZ/SHAMROCK, GILBERTO

PROJECT SITE ADDRESS:
402 COMMERCE ST
HAYDEN, CO 81639 (ROUTT)

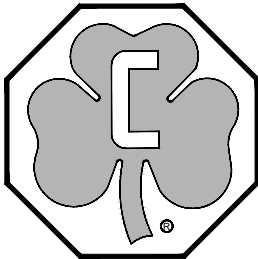
BUILDING SIZE:
45' 0" x 80' 0" x 19' 7"

SHEET NAME:
GAP DETAILS

PROJECT NUMBER:
2024103660

SHEET NUMBER:
190

WHEN PRINTED ON 24"x36"
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Weathervane: Cleary weathervane not included with building

Elevations for Building 1



North Side Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 1 on Building 1

Siding: PLP Prime G90

House Wrap: None

Wainscot: PLP Prime G90 (Height is 3'-4" above the 100' mark)

Wainscot Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)

Eave Filler Strips: None

Treated Plank Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)

Ventilation

Side Wall 1 on Building 1

Overhang: None

Accessories

Side Wall 1 on Building 1

Window(s):

Standard - Double Pane, Insulated 5'-0"x2'-0"

Distance from left edge of wall to left edge: 9' 5 1/4"

Distance from 100'+0" mark to top of window plus: 192"

Altitude: Hi-Altitude

Frame Out: 2x8

Frame: Step-Saver

Frosted: N/A

Glass: Insulated Double Pane



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Fax: (608) 845-7070

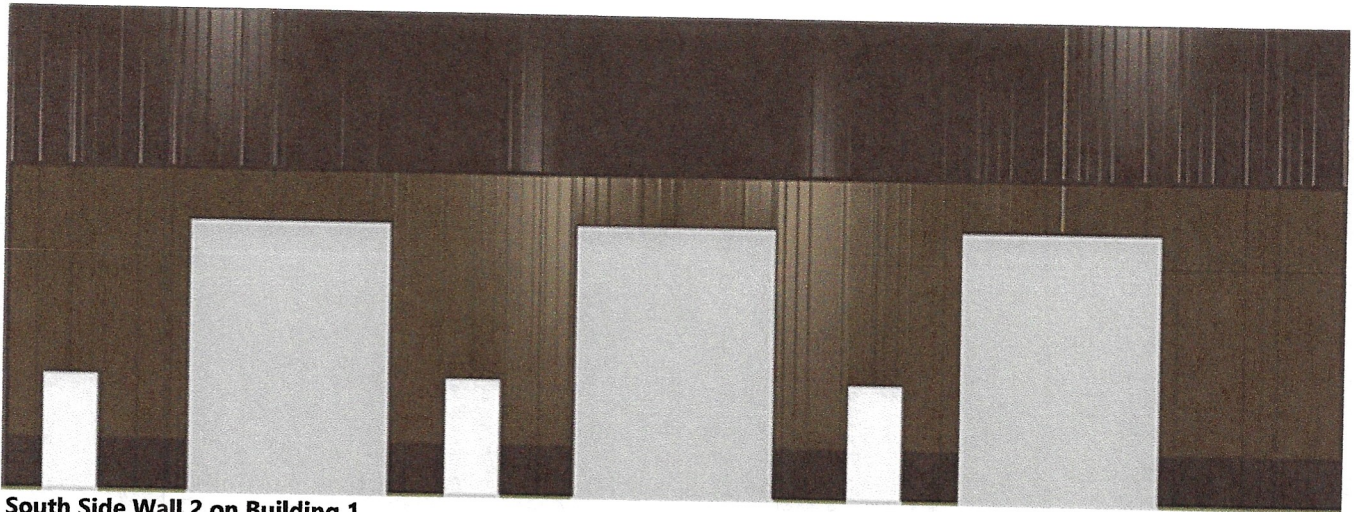
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Low E: N/A
Screen: No-Screen
Slide: Fixed Lite
Tempered: N/A
Tint: N/A

Interior Finishes / Insulation

Side Wall 1 on Building 1
Condensation Control: None
Insulation: None



South Side Wall 2 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 2 on Building 1
Siding: PLP Prime G90
House Wrap: None
Wainscot: PLP Prime G90 (Height is 3'-4" above the 100' mark)
Wainscot Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)
Eave Filler Strips: None
Treated Plank Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)

Ventilation

Side Wall 2 on Building 1
Overhang: None

Accessories

Side Wall 2 on Building 1
Overhead Frame Out(s):
12' 0" Width x 16' 0" Height
Headroom Available: 1' 6"
Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

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West End Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

- End Wall 1 on Building 1
- Siding: PLP Prime G90
- House Wrap: None
- Wainscot: PLP Prime G90 (Height is 3'-4" above the 100' mark)
- Wainscot Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)
- Gable Filler Strips: Gable filler strips not included.
- Treated Plank Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)

Ventilation

- End Wall 1 on Building 1
- Overhang: None

Accessories

- End Wall 1 on Building 1
- Window(s):
 - Standard - Double Pane, Insulated 4'-0"x3'-0"



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East End Wall 2 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

End Wall 2 on Building 1

Siding: PLP Prime G90

House Wrap: None

Wainscot: PLP Prime G90 (Height is 3'-4" above the 100' mark)

Wainscot Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)

Gable Filler Strips: Gable filler strips not included.

Treated Plank Filler Strips: Filler Strip preformed to steel rib (Single row at plank, brick prep, or eavelite/endlite)

Ventilation

End Wall 2 on Building 1

Overhang: None


Accessories

End Wall 2 on Building 1

Window(s):

Standard - Double Pane, Insulated 4'-0"x3'-0"

C-600
v12/10

built with pride before the  *is applied®*



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Aerial View



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