



AMENDED AGENDA
HAYDEN TOWN SPECIAL COUNCIL MEETING
HAYDEN TOWN HALL – 178 WEST JEFFERSON AVENUE
TUESDAY, JUNE 18, 2024
7:30 P.M.

ATTENDEES/COUNCIL MAY PARTICIPATE VIRTUALLY VIA ZOOM WITH THE INFORMATION BELOW:

Join Zoom Meeting

<https://us02web.zoom.us/j/84598597603?pwd=RVk4Q3dHSERQWitwUlhuNENsOWw4UT09>

Meeting ID: 845 9859 7603

One tap mobile

+16699009128,,84598597603# US (San Jose)

+12532158782,,84598597603# US (Tacoma)

THE TOWN WILL ALSO BROADCAST MEETINGS ON FACEBOOK LIVE AT THE TOWN'S FACEBOOK PAGE AT

<https://www.facebook.com/coloradohayden/>

OFFICIAL RECORDINGS AND RECORDS OF MEETINGS WILL BE THE ZOOM RECORDING AND NOT FACEBOOK LIVE. FACEBOOK LIVE IS MERELY A TOOL TO INCREASE COMMUNITY INVOLVEMENT AND IS NOT THE OFFICIAL RECORD.

WORK SESSION 7:00 P.M. – 7:30 P.M.

1. STAFF REPORTS

REGULAR MEETING – 7:30 P.M.

1a. CALL TO ORDER

1b. OPENING PRAYER/MOMENT OF SILENCE

1c. PLEDGE OF ALLEGIANCE

1d. ROLL CALL

1e. COUNCILMEMBER REPORTS AND UPDATES

A. Review and Discuss Recent Check Fraud at the Town of Hayden

3. PUBLIC COMMENTS

Citizens are invited to speak to the Council on items that are not on the agenda. All individuals who desire to speak during public comments must sign in using the sheet available by the Town Clerk. There is a three minute time limit per person, unless otherwise noted by the Mayor. Please note that no formal action will be taken on these items during this time due to the open meeting law provision; however, they may be placed on a future posted agenda if action is required.

4. PROCLAMATIONS/PRESENTATIONS

5. CONSENT ITEMS

Consent agenda items are considered to be routine and will be considered for adoption by one motion. There will be no separate discussion of these items unless a Councilmember requests to pull an item from the consent agenda.

A. Consideration of minutes for the Regular Meeting, June 6, 2024

Page 3

NOTICE: Agenda is subject to change. If you require special assistance in order to attend any of the Town's public meetings or events, please notify the Town of Hayden at (970) 276-3741 at least 48 hours in advance of the scheduled event so the necessary arrangements can be made.

- B. Consideration to ratify payment bill vouchers dated June 11, 2024 in the amount of \$16,839.67 Page 9
- C. Consideration to approve payment bill vouchers dated June 12-13, 2024 in the amount of \$419,464.62 Page 10

6. OLD BUSINESS

7. NEW BUSINESS

- A. Review and Consideration for Approval Carlson's Corner Live/Work Unit Development Conditional Use Permit Page 17
- B. Review and Consideration for Approval Yampa Valley Brewing Company Liquor License Page 66

8. PULLED CONSENT ITEMS

9. STAFF AND COUNCILMEMBER REPORTS AND UPDATES (CONTINUED, IF NECESSARY)

10. EXECUTIVE SESSION (IF NECESSARY)

- A. An executive session pursuant to Section 24-6-402(4)(d), Colorado Revised Statutes, concerning the specialized details of investigations, to discuss a check-fraud perpetrated against the Town of Hayden.

11. ADJOURNMENT

Work Session

NORTHWEST COLORADO GENERAL IMPROVEMENT DISTRICT MEETING discussed financing options and provided direction to staff.

Staff & Councilmember Reports**HAYDEN CENTER**

Sarah Stinson, Director Arts and Events: Next event is the Street Dance on South Walnut Street featuring chamberlin birch, and a mobile bar. Hayden Center is having a kids art pop-up class and paper quilling for older kids. Meditation Pop-up classes versus a series; registration low, will try again for fall. Hayden Night Live committee met last night with ideas for follies/cabaret set for September 21st. Shooting for a one-night show and getting volunteers already. Promoting as an adult event. Looking to bring back the Jello wrestling.

Rhonda Sweetser, Director Parks and Recreation: Hayden Center slowed down after school hours since school released for summer break. Don't have the after-school rush. Yoga and Spin classes open. Thank you, Parks Department for pickle ball lines in the 3rd Street Park. Pickleball folks are excited to play outside in the summer. Volleyball Clinics in gear. High Altitude basketball well attended with a lot of participants from other municipalities; very impressed with the Hayden Center. Will be getting the letters on the building. Baseball going well. Softball added this year. Soccer registration open. A lot of 6 and under, lower in the other ages. Huck Finn Day was a huge success and wonderful comments at Town (3rd Street) Park instead of Dry Creek Park, so we will stay there going forward. Enjoyed the food. Better timing. Hayden Daze with adult volleyball.

PUBLIC WORKS

Bryan Richards, Public Works Director: We located a water leak at Harvest and High Meadow, we know with the way the water lines were configured it was going to be a challenge for us so we called in Duckles; they exposed it. It was a bit more than anticipated and shutdown the pump station for two hours and placed on boil water due to pressure loss. Don't believe there was an issue. Completed and water back on for fire suppression and will test in the morning. Duckles did a great job. Crews been out crack sealing. Taking care of weeds, complaints about white top; spray and use a weed eater. Kyle going hard on parks. Forty (40) trees planted and low temperature called in Save a Tree and most will survive the freeze. Flowers delivered yesterday and staged at shop and out Monday or Tuesday next week. Went with greenhouse that provides for several municipalities. Hired folks for greater rectangular ones. Mainstreet Apartments should be done with stripping this week; 5th street looks really good and happy how it turned out. Onsite construction at the airport and about done with the entire waterline so we will be testing that hopefully next week and smooth the road and aggregate down before winter. Duckles offsite sewer going well with manholes. Boring contract for two bores under the highway. Survey crews for passing lanes to alleviate trash issues.

PLANNING

Tegan Ebbert, Community Development Director: First night of Walnut Street Market, it was a success. and hired Steven Bryant, Mountain Mutts as the coordinator. Definitely a group effort; Andrea helpful in getting things ready, Community Garden Orientation, and Christie is out there right now. Fourteen (14) vendors and four (4) food trucks. Working on getting everything ready for the skate park and finding out what is happening at that site and project which is exciting. Hired a new contract planner, Ty Johnson, a one man show which we were looking for.

ADMINISTRATION

*Draft minutes subject to editing and approval prior to becoming official record.
Page 1 of 6*

Mathew Mendisco, Town Manager: We've been in a partnership with YVEA for Gooseman contract for local electricity and looking at joint solar generating facility with Routt County and Moffat County and Craig. Partnership for better rates, we don't have cash but look at grants could provide space; two locations considered. Potentially/evaluating. Routt County and City of Steamboat are paying for the consultant. Could be a benefit with an offset of our electrical bills. Travelling to Montrose for grant for the geothermal project for the Business Park.

Sharon Johnson, Town Clerk: Reported that the weather finally calmed down and were able to spray for mosquitos last night. They will be doing a trap on Tuesday.

Andrea Salazar, Finance Manager: Just an update on August. Out in June 18 and July 18th meeting for approval. No significant issues. Single audit not started and will start at a later date.

Staff reports will continue at the end of the meeting.

Mayor Banks called the regular meeting of the Hayden Town Council to order at 7:30 p.m. Mayor Pro Tem Reese and Councilmembers Gann, Bell and Carlson present. Councilmembers Corriveau and Hicks notified Mathew Mendisco, Town Manager of their absence. Also present were Town Manager, Mathew Mendisco, Town Clerk, Sharon Johnson, Police Chief, Scott Scurlock, Public Works Director, Bryan Richards, Community Development Director, Tegan Ebbert, Finance Manager, Andrea Salazar, Hayden Center Recreation Director, Rhonda Sweetser, and Hayden Center Arts and Events Director, Sarah Stinson.

OPENING PRAYER
MOMENT OF SILENCE

Mayor Banks offered a moment of silence.

PLEDGE OF ALLEGIANCE

Mayor Banks led the Pledge of Allegiance.

COUNCILMEMBER
REPORT AND UPDATE

Mayor Banks reported on the Regional Transportation and trying to move ahead to place on the ballot in 2025 and looking to hire a legal firm and consultants to help us move this along. Asking for funding. Price thrown out there for Hayden \$30,000. Craig \$30,000 Steamboat Springs and Routt County \$75,000. Not sure what based on. Not yet a formal ask. **Mathew Mendisco** responded the last chat was to take the total of what needed and look at each partner's General Fund and proportionately assign financing.

Tegan Ebbert had a meeting with the Solar Project folks with Bryan Richards for information to submit an application a week and a half ago. Town of Hayden is an official referral agency; we brought up points we wanted them to speak to in their application; access because initially thinking of going South Popular to the site and not the right road, housing workforce and public hunting land access. Once formal application submitted and will create questions for Hayden residents. **Mathew Mendisco** suggested a work session with Town Council to provide a map and locations to provide comments. Councilmember Carlson likes idea of a work session, if time permits otherwise distribution of materials and submit questions and concerns. Councilmember Carlson also asked about ownership. Tegan Ebbert understands that you must have in energy purchase agreements in place.

PUBLIC COMMENTS

JJ Pike, 499 W Washington Ave, Hayden, CO. In the meeting where you were talking

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Page 2 of 6

about animals morphed into noise and you were talking about decibels. I would like you to consider construction in your nuance or in a separate section. JJ talked about the issues she has been dealing with this past year with Main Street Apartments (MSA) across the street; it is not a nuance, it's a nightmare. When they first started, I called Mathew to see if there was anything to address time, noise or dust or anything from construction. There was not and said he would get back to me. There is nothing on the books. These guys start at 6 a.m. and sometimes work until 7:15 p.m. In the beginning there was consent beeping and large machinery and lots of dust. It reminds me of what the dust bowl would look like. There was a water truck on premises but they weren't using it. Bryan tried to keep up with it. They could have been wetting the street and the dirt keeping down the dust. I had to wear glasses and mask to work in garden and yard last summer. Laborers leaning, eating and sleeping on my motor home and on my fence. The previous temporary Chief said they didn't have enough police, one in the day and one at night and likely not able to respond. Worked all spring, all summer and all winter and they have big equipment; and they park in front of my house and have to run the equipment all night due to the diesel and the cold. They work different schedules; the superintendent isn't there but the workers are. They've been working since 6:10 a.m. until 7:20 p.m. or 7:30 p.m. They work seven (7) days a week, every holiday; we need to protect the residents and have some peace and quiet somewhere down the road. Three weeks ago, they dumped gravel, sand and slate in front of three properties; from Dana's house to my house. They are not dumping gravel on their own property. They are not unloading semis on their own property. They are unloading in front of my house. Why can't they make a big loop dump it on their own property? Bryan called and they scooped up and placed it on their property, but every time a car drives over it, it reminds me of pigpen; a big cloud of dust goes up into the air. Why can't they sweep. Can we clean up the dust and gravel and charge them because they caused it. Bryan let her know that we could use the sweeper to clean up. JJ said they tried that and stopped because it caused so much dust. It reminds me of the beginning when I had to hose down my landscaping and house twice a week; my car, I just drove it with sand and dirt all over it every morning. The remedy for nuance is just the bottom line; is to be a good neighbor and we need your help.

PROCLAMATIONS/
PRESENTATIONS

None

CONSENT ITEMS

Consideration of minutes for the Regular Meeting – May 16, 2024

Consideration of bill payment voucher – May 20, 2024 in the amount of \$143,624.91

Councilmember Carlson requested to remove item D. Consideration to appoint Barbara Binetti to Hayden Town Clerk. The item was removed for consideration later in the meeting. Councilmember Gann moved to approve the consent items minus item D. Consideration to appoint Barbara Binetti to Hayden Town Clerk. Councilmember Carlson seconded. Roll call vote. Councilmember Carlson – aye. Councilmember Gann – aye. Councilmember Bell - aye. Mayor Pro Tem Reese – aye. Mayor Banks – aye. Motion carried.

Consideration of bill
payment voucher – June
3, 2024 in the amount of
\$1,122,019.15

Consideration to appoint
Barbara Binetti to Hayden
Town Clerk (removed)

OLD BUSINESS

Ordinance 733 Animal
Regulations

i. Public Hearing: 2nd
Reading Ordinance
733 An Ordinance
Amending the Hayden
Municipal Code by
Amending Title 4
Concerning Animals
and Establishing
Additional Regulations

ii. Review and
Consideration for
Approval 2nd Reading
Ordinance 733 An
Ordinance Amending
the Hayden Municipal
Code by Amending
Title 4 Concerning
Animals and
Establishing Additional
Animal Regulations

Public Hearing opened at 7:57 p.m.
No public comments.
Public Hearing closed at 7:58 p.m.

Mayor Banks moved to approve 2nd Reading Ordinance 733 An Ordinance Amending the Hayden Municipal Code by Amending Title 4 Concerning Animals and Establishing Additional Regulations. Councilmember Bell seconded. Roll call vote. Councilmember Bell – aye. Councilmember Gann – aye. Councilmember Carlson – aye. Mayor Pro Tem Reese – aye. Mayor Banks – aye. Motion carried.

Review and Discuss
Nuisance Ordinance

Scott Scurlock, presented sample ordinances from other municipalities. In our current code the phrase “serves no legitimate purpose” and could be argued; construction is legitimate. Important items to discuss are time of day, place (location) people effected, zoning, Central Business District and use, size of vehicle and how long able to idle, not disturb but business can be completed. Consider permits past certain amount of time, loud amplification, stereo too loud from house or car. Steamboat Springs noise pollution, similar language to Craig decibels and timeframes. Lakewood just adopted a construction ordinance addresses dust and proper disposal of materials. Reviewing all the example ordinances, taking in consideration some of the concerns, complaints and requests of the citizens of Hayden allowing for business to be completed and ability to enforce by the Police Department. An ordinance will be written for 1st reading and review at a future meeting. Thank you for your input and candor.

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Page 4 of 6

NEW BUSINESS

Review and Consideration to Approve Williams' Annexation and Subdivisions A & B Right of Way Acceptance;

Resolution 2024-03 A Resolution of Acceptance of Dedicated Public Ingress & Egress Right-Of-Way on Williams' Annexation 'A' And Subdivision Plat Map

Resolution 2024-04 A Resolution of Acceptance of Dedicated Public Ingress & Egress Right-Of-Way on Williams' Annexation 'B' And Subdivision Plat Map

Review and Consideration for Acceptance Financial Statement April 30, 2024

Tegan Ebbert explained the reason for the need for the Resolutions and the process was done differently in the past. This is a clean-up measure providing legal access to the property to sell. **Mayor Banks moved to approve Resolution 2024-03 A Resolution of Acceptance of Dedicated Public Ingress & Egress Right-Of-Way on Williams' Annexation 'A' And Subdivision Plat Map and Resolution 2024-04 A Resolution of Acceptance of Dedicated Public Ingress & Egress Right-Of-Way on Williams' Annexation 'B' And Subdivision Plat Map.** Councilmember Gann seconded. Roll call vote. Councilmember Carlson – aye. Councilmember Gann – aye. Councilmember Bell - aye. Mayor Pro Tem Reese – aye. Mayor Banks – aye. Motion carried.

Andrea Salazar, Finance Manager reported overall, the general fund is at 57% of revenue and 36% of expenses of the year which is pretty good. Flood expenses were not received in time for the budget planning and will see more clearly once it is wrapped up. The damage to the 3rd street park and a culver which are high expenses. Hayden Center revenue is at 45% and expenses at 34% with June and July big expenses for events and programs. Meter user fee will increase with lawn and landscaping maintenance. Prairie Run tap fees will come in once project construction begins. **moved to approve. Councilmember seconded. Roll call vote. Councilmember – aye. Councilmember – aye. Councilmember - aye. Councilmember – aye. Councilmember – aye. Mayor Pro Tem Reese – aye. Mayor Banks – aye. Motion carried.**

PULLED CONSENT ITEMS

Consideration to appoint Barbara Binetti to Hayden Town Clerk

Councilmember Carlson wanted to hear a bit more since you had a lot of interest in the position and qualified candidates, so curious to hear about your candidate of choice. **Mathew Mendisco, Town Manager, received** fifteen applicants originally and narrowed the applicants down to eight and sent out a questionnaire and narrowed that down to five candidates for personal interviews and one backed out, which four were interviewed by myself and Andrea and Tegan sat in on the interviews. The interviews were very competitive; out of the four at least three could have done the job. It came down to most qualifications, and experience, how well they did in their

personal interview; after discussion, Andrea, Tegan and I agreed that Barbara Binetti was the best candidate has lived in the Hayden over thirty years, has twenty-five years of Human Resources, twenty of those years at Peabody Energy, and various other organizations; Manager of Human Resources at Old Town Hot Springs, experience at a bank for eight years, understands systems and helped launch system Peabody’s HR system, knows payroll, and local knowledge of Hayden. So, a tentative offer has been made with the approval of the appointment tonight. **Mayor Banks moved to appoint Barbara Binetti Hayden Town Clerk. Councilmember Carlson seconded. Roll call vote. Councilmember Bell – aye. Councilmember Gann – aye. Councilmember Carlson – aye. Mayor Pro Tem Reese – aye. Mayor Banks – aye. Motion carried.**

**STAFF AND
COUNCILMEMBER
REPORTS AND UPDATES
CONTINUED**

Mathew Mendisco, Town Manager Adjusting a few items from the punch list for the Hayden Center; screen for Totally Kids playground. Getting Hayden Center wrapped up. Cranking on the Business Park with a few hiccups. Grants for geothermal project are looking positive. Regulation 26, air quality control, passed last year, commercial buildings over 50,000 square feet must have a plan in place to reduce emissions. Looking at what to do to reduce the footprint. Speaking to Excel Energy and would you make Hayden Center part of their project. Excel Energy would like to work with disadvantaged community, if Hayden is willing wants to address at a much larger scale. Summer is busy. Start budgeting soon and checking strategic plans and where we are going. Engaging a consultant for a hotel study, kicking off this summer. GID meeting on June 18th or later if necessary. Looking at staffing and evaluating all departments to see if getting things done, a full staff analysis. Chief Scott Scurlock looking at having a School Resources Officer.

EXECUTIVE SESSION

None.

ADJOURNMENT

Mayor Banks adjourned the meeting at 8:54 p.m.

Recorded by:

Sharon Johnson, Town Clerk

APPROVED THIS 18th DAY OF June 2024.

Ryan Banks, Mayor

Report Criteria:

- Detail report.
- Invoices with totals above \$0 included.
- Paid and unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
5440	Central Electric LLC	24824	PW - Clortec Upgrade	05/03/2024	2,595.59	06/11/2024	
Total 5440:					2,595.59		
12828	Luminate Fiber LLC	1201MAY2024	3001061201 HPD Broadband	05/01/2024	138.90	06/11/2024	
12828	Luminate Fiber LLC	4701MAY2024	3001154701 - Loadout Utilities	05/01/2024	73.85	06/11/2024	
12828	Luminate Fiber LLC	6301MAY2024	3001106301 Hayden Center Broa	05/01/2024	258.90	06/11/2024	
Total 12828:					471.65		
4010	Yampa Valley Electric	111301	Skate Park Electric Relocate	06/10/2024	13,772.43	06/11/2024	
Total 4010:					13,772.43		
Grand Totals:					16,839.67		

Report Criteria:

- Detail report.
- Invoices with totals above \$0 included.
- Paid and unpaid invoices included.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
13391	Adam Cozzens	416.01	Utility Deposit Refund	06/05/2024	62.07		
Total 13391:					62.07		
4330	Advanced Copier Solutions Inc.	13974	Toshiba Copier Contract	06/03/2024	71.94		
Total 4330:					71.94		
12696	AT&T Mobility	287293429932	Sewer - Cell Phone	05/20/2024	107.06		
12696	AT&T Mobility	287293429932	Exec - Phone	05/20/2024	34.89		
12696	AT&T Mobility	287293429932	EDC - Tablet	05/20/2024	14.07		
12696	AT&T Mobility	287293429932	Admin - Cell Phone	05/20/2024	245.15		
12696	AT&T Mobility	287293429932	Water - Cell Phone	05/20/2024	111.96		
12696	AT&T Mobility	287293429932	Streets - Cell Phone	05/20/2024	267.24		
12696	AT&T Mobility	287293429932	HC Cell Phones	05/20/2024	147.09		
12696	AT&T Mobility	287293441320	PD - Cell Phone	05/20/2024	634.63		
Total 12696:					1,562.09		
1200	Bear River Valley Co-Op	MAY2024	Parks - Vehicle Exp	05/25/2024	630.05		
1200	Bear River Valley Co-Op	MAY2024	Admin Fuel	05/25/2024	69.56		
1200	Bear River Valley Co-Op	MAY2024	Sewer Vehicle Expense	05/25/2024	51.83		
1200	Bear River Valley Co-Op	MAY2024	Parks - Operating	05/25/2024	61.72		
1200	Bear River Valley Co-Op	MAY2024	PD Vehicle Expense	05/25/2024	843.90		
1200	Bear River Valley Co-Op	MAY2024	Streets Vehicle Expense	05/25/2024	847.43		
1200	Bear River Valley Co-Op	MAY2024	Streets Maintenance	05/25/2024	1,083.41		
1200	Bear River Valley Co-Op	MAY2024	Water vehicle exp - fuel	05/25/2024	573.60		
Total 1200:					4,161.50		
1310	Boyko Supply Co	213518	Janitorial Supplies	05/15/2024	118.80		
Total 1310:					118.80		
13390	Brian Ghirardelli	11JUN2024	Hayden Daze Entertainment	06/11/2024	150.00		
Total 13390:					150.00		
7900	Browns Hill Engineering &	1320	SCADA Lease	06/05/2024	2,338.00		
Total 7900:					2,338.00		
1325	BSN Sports	925788663	Rec - Youth Baseball Catcher Gea	05/22/2024	155.79		
Total 1325:					155.79		
1400	Caselle Inc	133266	Water Admin	06/01/2024	394.40		
1400	Caselle Inc	133266	Hayden Center	06/01/2024	394.40		
1400	Caselle Inc	133266	Admin	06/01/2024	788.80		
1400	Caselle Inc	133266	Sewer Admin	06/01/2024	394.40		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
Total 1400:					1,972.00		
3770	CenturyLink	9595JUN2024	334099595 PD Phone 970-276-25	06/04/2024	112.17		
Total 3770:					112.17		
9230	Chaosink	18060	PD Business Cards	12/01/2023	408.00		
9230	Chaosink	18679	Rec - Baseball Hats	05/29/2024	687.00		
Total 9230:					1,095.00		
13393	Craig Thornhill	11JUN2024	Hayden Daze Band	06/11/2024	600.00		
Total 13393:					600.00		
9000	Dowling Land Surveyors	10JUN2024	Dry Culvert As-Built	06/10/2024	840.00		
9000	Dowling Land Surveyors	10JUN2024	NWBP Bore Elevation Check	06/10/2024	900.00		
Total 9000:					1,740.00		
12754	Elk River Guns	24-06-01	Duty gear for officers	06/05/2024	583.60		
12754	Elk River Guns	24-06-01	Trade Credit Balance	06/05/2024	225.00		
Total 12754:					808.60		
13005	Employers Council	0000507420	Rec - Background Check	05/28/2024	57.00		
Total 13005:					57.00		
12931	Flowpoint Enviornmental Systems	WE4730	Bulkwater POS	05/31/2024	318.36		
Total 12931:					318.36		
12771	Fones Construction LLC	5TH ST CULVE	5th Street Culverts #5	05/31/2024	216,924.95		
12771	Fones Construction LLC	5TH ST CULVE	Retainage 5th Street Culverts #5	05/31/2024	10,846.25-		
12771	Fones Construction LLC	DRY CREEK P	Dry Creek Culverts Pay App #6	05/31/2024	22,140.00		
12771	Fones Construction LLC	DRY CREEK P	Retainage Dry Creek Culverts #6	05/31/2024	1,107.00-		
Total 12771:					227,111.70		
12773	Freedom Mailing Services	47901	Utility Billing	05/24/2024	231.24		
12773	Freedom Mailing Services	47901	Utility Billing	05/24/2024	231.23		
Total 12773:					462.47		
13072	Frontier Station Inc	29947	Weed Spray	05/30/2024	342.40		
Total 13072:					342.40		
12451	Grand Junction Winwater Compa	074541 02	PW - Sewer Service Inventory	05/22/2024	1,133.36		
12451	Grand Junction Winwater Compa	074639 01	PW - Service Line Inventory	05/22/2024	3,612.42		
Total 12451:					4,745.78		
13392	Harms, Jorden	11JUN2024	Hayden Daze Entertainment	06/11/2024	250.00		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
Total 13392:					250.00		
2580	Hayden Merc	01-100056	Hayden Clean Up Day Lunch	05/11/2024	166.23		
2580	Hayden Merc	01-102298	PW - Electrical Tester	05/13/2024	79.99		
2580	Hayden Merc	01-102308	PW - Stain	05/13/2024	12.99		
2580	Hayden Merc	01-103945	HC - Bit Set	05/15/2024	26.99		
2580	Hayden Merc	01-104044	PW - Knez Sidewalk Repair	05/15/2024	199.90		
2580	Hayden Merc	01-104161	PW - String Level	05/15/2024	13.99		
2580	Hayden Merc	01-104178	Parks - Soil for Trees at Dry Creek	05/15/2024	1,708.19		
2580	Hayden Merc	01-104237	PW - Drillbit for MXU Installation	05/15/2024	14.99		
2580	Hayden Merc	01-104339	HC - Ice	05/15/2024	10.36		
2580	Hayden Merc	01-109771	PW - Chlortech	05/21/2024	4.59		
2580	Hayden Merc	01-109888	PW - Flagging Tape	05/21/2024	3.59		
2580	Hayden Merc	01-110983	HC - Paint Supplies	05/22/2024	24.17		
2580	Hayden Merc	01-111248	PW - TH Building Maint	05/22/2024	26.98		
2580	Hayden Merc	01-117809	PW - Nuts/Bolts	05/29/2024	5.60		
2580	Hayden Merc	01-117822	PW - Nuts/Bolts	05/29/2024	5.00		
2580	Hayden Merc	01-117849	PW - Nuts/Bolts	05/29/2024	4.29		
2580	Hayden Merc	01-117870	PW - Nuts/Bolts	05/29/2024	1.60		
2580	Hayden Merc	01-117991	Admin - Town Clerk Interviews Lu	05/29/2024	55.93		
2580	Hayden Merc	01-118197	PW - Hitch	05/29/2024	159.99		
2580	Hayden Merc	01-119258	HC - Couplers	05/30/2024	27.27		
2580	Hayden Merc	01-91247	WTP Supplies	05/02/2024	25.58		
2580	Hayden Merc	01-91339	HC - Shelf Supplies	05/02/2024	25.77		
2580	Hayden Merc	01-95276	WTP supplies	05/06/2024	48.97		
2580	Hayden Merc	01-97129	PW - Extension Cord Repair	05/08/2024	17.98		
2580	Hayden Merc	01-97278	HC - Shelf Bracket	05/08/2024	35.91		
2580	Hayden Merc	01-98227	Parks - Baseball Field Chalk	05/09/2024	1,288.44		
2580	Hayden Merc	02-102093	PW - Hanger Hooks	05/23/2024	13.77		
2580	Hayden Merc	02-102334	PW - Bolt Eye	05/23/2024	22.94		
2580	Hayden Merc	02-106809	PW - Irrigation Repair	05/28/2024	71.13		
2580	Hayden Merc	02-106826	PW - WTP Conduit	05/28/2024	31.98		
2580	Hayden Merc	02-107070	PW - Nuts/Bolts	05/28/2024	1.50		
2580	Hayden Merc	02-108039	HC - Couplers	05/29/2024	13.58		
2580	Hayden Merc	02-108076	Parks - Tie Wire	05/29/2024	29.98		
2580	Hayden Merc	02-81964	PD - 13 Copies of Building Keys	05/01/2024	38.87		
2580	Hayden Merc	02-82665	HC - Tools	05/02/2024	22.37		
2580	Hayden Merc	02-87261	Parks - JCP Sprinkler Controller	05/07/2024	90.74		
2580	Hayden Merc	02-88197	HC - Spraypaint	05/08/2024	19.89		
2580	Hayden Merc	02-89184	PW - Dustbroom	05/09/2024	19.98		
2580	Hayden Merc	02-89245	PW - Batteries	05/09/2024	12.99		
2580	Hayden Merc	02-94021	HC - Fasteners	05/14/2024	16.32		
2580	Hayden Merc	02-95037	PW - Shovels	05/15/2024	38.98		
2580	Hayden Merc	03-69874	Parks - Restroom Cleaning Suppli	05/01/2024	49.97		
2580	Hayden Merc	03-82652	Parks - DCP Baseball Fields	05/16/2024	19.99		
2580	Hayden Merc	03-82763	PW - Tape for WTP Signs	05/16/2024	5.59		
2580	Hayden Merc	03-86570	PW - Knez Sidewalk Repair	05/20/2024	68.98		
2580	Hayden Merc	03-86605	PW - Knez Sidewalk Repair Land	05/20/2024	33.97		
2580	Hayden Merc	03-86686	PW - Hanger Hooks	05/20/2024	24.17		
2580	Hayden Merc	03-89881	PW - Spinkler Repair	05/24/2024	97.89		
2580	Hayden Merc	03-93478	DCP Sprinkler Repair	05/28/2024	12.15		
2580	Hayden Merc	03-94265	HC - Putty	05/29/2024	16.37		
Total 2580:					4,769.39		
12768	Hayden Rental & Repair	3098	Parks - Fuel Mix	06/03/2024	32.15		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
12768	Hayden Rental & Repair	3099	Plate Compactor	06/03/2024	500.00		
12768	Hayden Rental & Repair	3099	Plate Compactor	06/03/2024	578.25		
12768	Hayden Rental & Repair	3099	Plate Compactor	06/03/2024	500.00		
12768	Hayden Rental & Repair	3099	Plate Compactor	06/03/2024	500.00		
Total 12768:					2,110.40		
2730	Jackson's Office Supply	10460033	Walnut St Market Posters	06/06/2024	36.00		
Total 2730:					36.00		
13165	Joel Schulman	208830	Fine Art Canvas - Retirement	06/12/2024	145.00		
Total 13165:					145.00		
13183	La Central Catering LLC	000010112	RE-1 Schools and TC Joint Meeti	05/16/2024	450.00		
Total 13183:					450.00		
13332	Maroney Consulting Services LLC	911	EDC - TIPS Training	06/07/2024	35.00		
Total 13332:					35.00		
12926	McKinstry Essention, LLC	20072487	NWR Town of Hayden - Constructi	05/28/2024	884.00		
12926	McKinstry Essention, LLC	20072487	NWR Town of Hayden - Constructi	05/28/2024	884.00		
12926	McKinstry Essention, LLC	20072487	NWR Town of Hayden - Constructi	05/28/2024	884.34		
Total 12926:					2,652.34		
12779	Meeker Sand & Gravel	42124	386 Lakeview Repair	05/14/2024	1,072.05		
12779	Meeker Sand & Gravel	42137	386 Lakeview Repair	05/16/2024	879.90		
Total 12779:					1,951.95		
2960	MJK Sales & Feed Inc	368559	PW - Tree Safety	05/02/2024	179.98		
2960	MJK Sales & Feed Inc	F69791	Overpayment Parks	05/20/2024	2.53		
Total 2960:					177.45		
4060	Murray Dahl Beery & Renaud LLP	18594	Legal Review	06/05/2024	2,922.50		
4060	Murray Dahl Beery & Renaud LLP	18595	Municipal Prosecution	06/05/2024	18.00		
Total 4060:					2,940.50		
13394	Navarro Construction	1002	50% Deposit Sauna Installation	01/22/2024	3,992.50		
Total 13394:					3,992.50		
13299	Padgett, Oliver	11JUN2024	Hayden Daze Entertainment	06/11/2024	150.00		
Total 13299:					150.00		
13256	PDS INC	AR82639	PW - Copier	06/09/2024	28.73		
13256	PDS INC	AR83037	PD - Copier	06/09/2024	36.63		
Total 13256:					65.36		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
13395	Plantorium, Inc.	31662	Flowers	06/04/2024	4,494.38		
	Total 13395:				4,494.38		
13396	Red Leaf Solutions, LLC	INV-2657	Hayden Center Sauna	04/10/2024	19,861.85		
	Total 13396:				19,861.85		
12092	Routt Co Enviromental Health	20068	PW - Bacteria Test Bottles	05/29/2024	720.00		
	Total 12092:				720.00		
5225	Routt County Sheriff's Office	MARCH2024	Contract Law Enforcement Mar 20	05/30/2024	1,574.10		
	Total 5225:				1,574.10		
7090	Samuelson's - Craig	288008	TH - Fence Repair from Snow Re	05/01/2024	56.86		
	Total 7090:				56.86		
13261	SavATree, LLC	000292432	New Tree Fertilizer	06/10/2024	948.00		
	Total 13261:				948.00		
3440	Sirchie Finger Print Labs	0647340-IN	Fentanyl Testing Kits	06/03/2024	107.97		
	Total 3440:				107.97		
10930	Standard Plumbing Supply Co.	WWCR21	Hayden Center	06/07/2024	7.59		
	Total 10930:				7.59		
12494	Steamboat Springs Auto Parts, In	441214	Parks - 3 Wheeler Parts	05/01/2024	11.39		
12494	Steamboat Springs Auto Parts, In	441230	PW - Vehicle Air Freshener	05/01/2024	8.78		
12494	Steamboat Springs Auto Parts, In	441351	PW - Funnel for WTP Chemicals	05/06/2024	8.99		
12494	Steamboat Springs Auto Parts, In	441381	PW - Dump Truck Alternator	05/06/2024	345.73		
12494	Steamboat Springs Auto Parts, In	441578	PW - 2 Stroke Oik	05/13/2024	11.99		
12494	Steamboat Springs Auto Parts, In	441579	PW - 2 Stroke Oik	05/13/2024	109.99		
12494	Steamboat Springs Auto Parts, In	441592	PW - Dump Truck Electric Repair	05/14/2024	13.71		
12494	Steamboat Springs Auto Parts, In	441593	PW - Electrical Connectors	05/14/2024	7.99		
12494	Steamboat Springs Auto Parts, In	441646	PW - Air Compressor Oil DCP	05/15/2024	9.99		
12494	Steamboat Springs Auto Parts, In	441680	PD - Tahoe Oil Change	05/16/2024	100.94		
12494	Steamboat Springs Auto Parts, In	441831	PW - Windshield Wipers	05/21/2024	68.27		
12494	Steamboat Springs Auto Parts, In	442084	PW - Crack Sealer	05/28/2024	266.96		
12494	Steamboat Springs Auto Parts, In	442086	PW - Crack Sealer	05/28/2024	35.98		
12494	Steamboat Springs Auto Parts, In	442102	PW - Air Compressor Service	05/28/2024	456.94		
12494	Steamboat Springs Auto Parts, In	442103	PW - Water Wagon Battery	05/28/2024	71.99		
12494	Steamboat Springs Auto Parts, In	442109	PW - Shop Towels	05/28/2024	100.96		
	Total 12494:				1,630.60		
12634	Sunrise Engineering, Inc.	0141456	Hayden Advanced Industrial Busin	03/12/2024	17,752.00		
12634	Sunrise Engineering, Inc.	0143595	General Engineering	06/07/2024	1,600.00		
12634	Sunrise Engineering, Inc.	0143595	General Engineering	06/07/2024	2,600.00		
12634	Sunrise Engineering, Inc.	0143596	Floodplain Management	06/07/2024	6,488.50		
12634	Sunrise Engineering, Inc.	0143597	NW Colorado Business Park CM	06/07/2024	61,688.25		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
Total 12634:					90,128.75		
13297	Sweetser, Rhonda	MAY2024	May 9, 29, 30 Mileage Reimb	05/31/2024	81.74		
Total 13297:					81.74		
13352	TransUnion Risk & Alternative	6609912-2024	PD & Court - People Address Sea	06/01/2024	75.00		
Total 13352:					75.00		
9545	U.S. Tractor & Harvest, Inc.	P82333	PW - 3520 Oil Change	05/30/2024	693.15		
Total 9545:					693.15		
12864	UNCC	224050792	Utility Locates	05/31/2024	85.14		
Total 12864:					85.14		
12459	United Companies	1574933	PW - Knez Service Repair	05/21/2024	164.74		
Total 12459:					164.74		
13086	Vital Records Holding, LLC	4279137	PD - Document Shredding	05/31/2024	50.00		
13086	Vital Records Holding, LLC	4297482	Town Hall Document Shredding	05/31/2024	110.46		
Total 13086:					160.46		
3970	W.P.C.I.	S 164127	DOT Testing	05/31/2024	30.00		
Total 3970:					30.00		
3880	Wagner Equipment Co	P04C0344590	PW - Compressor Oil	05/16/2024	283.17		
3880	Wagner Equipment Co	P04C0344730	PW - 246 Oil Change	05/24/2024	324.35		
3880	Wagner Equipment Co	P04C0344731	PW - 430 D Oil Change	05/24/2024	205.48		
3880	Wagner Equipment Co	P04R0124332	PW - Return Nuts	05/17/2024	23.70		
Total 3880:					789.30		
13345	Winthrop & Weinstine, PA	579464	Prairie Run Agreements & Grant	05/23/2024	16,793.00		
Total 13345:					16,793.00		
12261	Yampa Valley Brewing Company	YVB-02897	Walnut St Market Beverages	06/05/2024	200.00		
Total 12261:					200.00		
13128	Yampa Valley Sustainability Coun	16617	RC Climate Action Collaborative	05/31/2024	7,925.00		
Total 13128:					7,925.00		
13231	Yeh & Associates, Inc	222-055-12	Hwy 40 Sidewalks Closeout	05/29/2024	2,641.50		
Total 13231:					2,641.50		
4245	Zirkel Wireless, LLC	272331	PW Shop 4378 Fibewave Upgrad	05/31/2024	198.01		

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Date Paid	Voided
					<hr/>		
	Total 4245:				198.01		
	Grand Totals:				<u>417,078.70</u>		

Report Criteria:

- Detail report.
 - Invoices with totals above \$0 included.
 - Paid and unpaid invoices included.
-



Town of Hayden

Town Council Agenda Item

MEETING DATE: June 18, 2024

AGENDA ITEM TITLE: Carlson's Corner Live/Work Unit Development Conditional Use Permit

AGENDA SECTION: New business

PRESENTED BY: Tegan Ebbert, Community Development Director.

CAN THIS ITEM BE RESCHEDULED: Not preferred.

BACKGROUND REVIEW:

Attached is the staff packet, Planning Commission Meeting Minutes from 6/13/24, and application package.

Planning Commission recommended this project for approval with the findings of fact and conditions of approval listed below.

RECOMMENDATION: Move to approve the Carlson's Corner Live/Work Development Conditional Use Permit with the following findings of fact and conditions of approval:

Findings of fact:

1. The proposed conditional use is consistent with the Hayden Forward Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations.
2. The proposed conditional use is consistent with the purpose and intent of the I-1: Light Industrial zone district and any applicable use-specific standards in the Development Code.
3. The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics.
4. The proposed conditional use will not substantially alter the basic character of the I-1: Light Industrial zone district or jeopardize the development or redevelopment potential of the I-1: Light Industrial zone district.
5. The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.
6. Any significant adverse impacts anticipated to result from the conditional use have been or will be mitigated or offset to the maximum extent practicable.
7. Facilities and services are or will be available to serve the subject property while maintaining adequate levels of service for existing development.
8. Adequate assurances of continuing maintenance have been provided.

9. The proposed conditional use meets all the applicable standards in Chapter 10.24 Development Standards.

Subject to the following conditions of approval:

1. The conditional use permit shall be authorized and approved by a resolution approved by the Town Council.
2. The effective date of this approval is the date upon which the Planning Commission approves the application. The approval shall expire two (2) years from its effective date, unless application for renewal of the Site Plan approval is approved pursuant to Section 10.16.020, Hayden Development Code (HDC).
3. All exterior lighting must be downcast and opaquely shielded and in compliance with section 10.24.210 HDC.
4. Updated landscaping plans that include four (4) additional trees shall be submitted to staff for administrative approval prior to the issuance of the building permit.
5. The property owner is responsible for designation and/or assignment of parking spaces within the development.
6. The driveways and parking areas must be paved and striped prior to the issuance of a Certificate of Occupancy/Approval.
7. All residential rental leases shall include the following disclosure "This property is zoned Light Industrial and therefore noise, traffic, and activities associated with light industrial and commercial activities shall be expected in the vicinity of these units."
8. The fee in lieu of School Site Dedication shall be conveyed to the Town prior to issuance of a Certificate of Occupancy in compliance with section 10.24.140 and 10.24.150 HDC.
9. Rental restriction agreement for the Community Housing unit shall be executed prior to issuance of a Certificate of Occupancy in compliance with section 10.24.290 HDC.

MANAGER RECOMMENDATION/COMMENTS: *I concur with the recommendation.*

The regular meeting of the Hayden Planning Commission was called to order by Chair Amy Williams at 6:00 p.m. Other members present were Vice Chair Lewis and Commissioner David DeMorat. Community Development Director Tegan Ebbert, Applicant Scott Carlson, and Applicant’s Representative Kieran O’Halloran, of Amplify Architecture, were also present.

Pledge of Allegiance

Chair Williams led the Pledge of Allegiance.

Approval of the Minutes

Vice Chair Lewis moved to approve the Planning Commission meeting minutes from April 11, 2024, Commissioner DeMorat seconded; the motion was approved unanimously.

Carlson’s Corner Live/Work Development – Lots 14, 15 & 16., Valley View Business Park

Mr. Carlson described the proposed project and his motivation for pursuing it. He has been a business owner for many years in the valley but has never had a dedicated shop/location for his business. He, like many trades people and construction businesses struggle to find space for their businesses and he wants to create opportunity for businesses similar to his own.

Mr. O’Halloran discussed designing a development that fits within the character of the existing business park and is serving to the types of businesses that seem to be growing in Hayden.

Ms. Ebbert noted that the property consists of three lots that will be consolidated into one singular parcel containing just over one acre. The proposal is to construct three (3) buildings across the property, each building will contain four (4) live/work units. The units are being designed to that the live component and work component can be leases to separate occupants or the same occupants. This is being achieved by complying with a more stringent building code designation that maintains greater fire separations, separate access points, and a commercial building standard versus residential. The applicant intends on using some of the residential units for his employees to occupy, the remainder will continue to be under his ownership and leased to the public. The businesses that will occupy the development are unknown at this point however they are anticipated to be light industrial or commercial as is permissible in the Light Industrial (I-1) Zone District.

Commissioner DeMorat questioned if there will be hours of operation on the “work” component of the development as he has concerns about the work activities disrupting the residential occupants. Ms. Ebbert noted that currently the Town does not have a robust nuisance ordinance on the books however staff are actively working to create one. It will likely include a noise ordinance for certain hours and activities based on zone districts. Additionally, a recommended condition of approval is included require a

notice of the zoning designation of the property to be located within any residential lease. In addition to the “work” units on this site, the property is surrounded with existing light industrial businesses. This recommendation is a mitigation effort associated with recommended Finding of Fact #6. The overall desire for this property is that it supports community members who own their own business and/or supports the other businesses in Valley View Business Park and Hayden by housing the workforce needed for them to operate. Chair Williams commented that the primary use of this property is for light industrial and commercial activity with the residential component as a secondary, supporting use so she doesn’t want to limit the commercial activity to a degree that make it infeasible for businesses to operate.

Chair Williams asked about vehicle circulation onsite. Mr. Carlson indicated that he designed the ingress/egress to allow for a semi to drive through the site.

Ms. Ebbert noted that one concern about live/work units is that sometimes they revert to strictly residential use which isn’t particularly compatible with other uses and activities in the Light Industrial Zone District. Additionally, the subdivision lacks sidewalks, parks, and other features that residential developments typically have. One appealing feature of the “live” and “work” units being separately leasable is that the “work” area will not be simply included in a residential lease therefore, if someone doesn’t have a genuine use for a commercial shop they would be deterred from renting it to use it residentially. One of the goals of the Hayden Forward Master Plan is to encourage business establishment and growth and staff view this as a creative approach to ensuring that industrial and commercial space is being used for those reasons versus reverting to residential occupancy.

Ms. Ebbert discussed the findings of fact that are consistent with the review criteria for a Conditional Use Permit and the recommended conditions of approval.

Motion

Commissioner Lewis moved to recommend approval of the Carlson’s Corner live/work development Conditional Use Permit with the following findings of fact and conditions:

Findings of fact:

1. The proposed conditional use is consistent with the Hayden Forward Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations.

2. The proposed conditional use is consistent with the purpose and intent of the I-1: Light Industrial zone district and any applicable use-specific standards in the Development Code.
3. The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics.
4. The proposed conditional use will not substantially alter the basic character of the I-1: Light Industrial zone district or jeopardize the development or redevelopment potential of the I-1: Light Industrial zone district.
5. The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.
6. Any significant adverse impacts anticipated to result from the conditional use have been or will be mitigated or offset to the maximum extent practicable.
7. Facilities and services are or will be available to serve the subject property while maintaining adequate levels of service for existing development.
8. Adequate assurances of continuing maintenance have been provided.
9. The proposed conditional use meets all the applicable standards in Chapter 10.24 Development Standards.

Subject to the following conditions of approval:

1. The conditional use permit shall be authorized and approved by a resolution approved by the Town Council.
2. The effective date of this approval is the date upon which the Planning Commission approves the application. The approval shall expire two (2) years from its effective date, unless application for renewal of the Site Plan approval is approved pursuant to Section 10.16.020, Hayden Development Code (HDC).
3. All exterior lighting must be downcast and opaquely shielded and in compliance with section 10.24.210 HDC.

4. Updated landscaping plans that include four (4) additional trees shall be submitted to staff for administrative approval prior to the issuance of the building permit.
5. The property owner is responsible for designation and/or assignment of parking spaces within the development.
6. The driveways and parking areas must be paved and striped prior to the issuance of a Certificate of Occupancy/Approval.
7. All residential rental leases shall include the following disclosure "This property is zoned Light Industrial and therefore noise, traffic, and activities associated with light industrial and commercial activities shall be expected in the vicinity of these units."
8. The fee in lieu of School Site Dedication shall be conveyed to the Town prior to issuance of a Certificate of Occupancy in compliance with section 10.24.140 and 10.24.150 HDC.
9. Rental restriction agreement for the Community Housing unit shall be executed prior to issuance of a Certificate of Occupancy in compliance with section 10.24.290 HDC.

Staff Reports

Ms. Ebbert updated the planning commission on ongoing projects. Funding was granted to work embark on a Development Code rewrite and a new contract planner has been hired.

Adjournment

The meeting was adjourned at 6:50PM

Recorded by:

Tegan Ebbert

APPROVED THIS _____ DAY OF _____, 2024

Amy J. Williams, Chair



Town of Hayden

Town Council Agenda Item

MEETING DATE: June 18, 2024

AGENDA ITEM TITLE: Public Hearing: Carlson’s Corner, live/work development
Conditional Use Permit
Lots 14, 15, & 16 Valley View Business Park

AGENDA SECTION: New Business

PRESENTED BY: Tegan Ebbert
Community Development Director

APPLICANT: Scott Carlson, Owner and Amplify Architecture,
applicant.

CAN THIS ITEM BE RESCHEDULED: Not recommended.

ATTACHMENTS: Applicant Narrative
Site plan, elevation, floor plan

BACKGROUND REVIEW:

The owner of Lots 14, 15, and 16, Valley View Business Park is proposing to consolidate the three parcels and construct a live/work development across the approximately 1-acre site. The property is zoned Light Industrial (I-1 Zone District). The site is currently vacant, aside from some small outbuildings and a hoop house associated with a former garden center operation. The existing outbuildings will be removed in order to accommodate the live/work development.

The request is to construct three (3) buildings, each containing four (4) work units on the ground floor, and four (4) live units on the upper floor. The design of the units will allow for the live and work portions to be rented out separately or together. The applicant is proposing to maintain ownership of the development and lease out both the live and work units.

The applicant is proposing to have ten (8) live units containing two (4) bedrooms and approximately 750 square feet of living area and two (2) live units containing three (3) bedrooms and approximately 930 square feet of living area. The twelve (12) work units will contain approximately 750 square feet of commercial/light industrial work area that includes an ADA accessible bathroom. The site contains thirty two (32) exterior parking spaces, two (2) of which

are ADA compliant and a further twelve (12) interior parking spaces within the work units. Twelve (12) of the exterior parking spaces require tandem parking in combination with the interior parking spaces and a condition of approval has been included to address the parking plan.

COMPLIANCE WITH HAYDEN FORWARD MASTER PLAN:

Section 7.16.020(f)(1)(iii) of the Hayden Development Code (Code) states that “[t]he reviewing authority shall review development applications for compliance with all relevant standards and criteria as set forth in the specific procedures for the particular application in [the Code]” as well as general criteria which apply including compliance “with the goals and policies of the Master Plan” (Plan). Therefore, any proposal should be considered in light of the applicable policies of the Plan. While the Plan contains numerous policies regarding land use and development, staff has selected the following checklist to highlight the policies most directly applicable to this application. Interested parties are encouraged to review the Plan to determine if there are other policies that may be applicable to the review of this application.

Housing & Neighborhood Elements

Complies		Section	Policies
Yes	No		
<u> √ </u>	<u> </u>	HE.HL1.2	Promote development of housing for the local workforce, including multi-family, duplex, single-family and alternative housing types. <i>Staff comment: The proposed development provides a unique take on live/work units. The units can be both leased together or separately which can accommodate entrepreneurs, members of the workforce, employers seeking employee housing, and the general public.</i>

Resilient Economy

<u> √ </u>	<u> </u>	RE.ED3.5	Support efforts that expand the area’s commercial base, growing Town revenues, and providing essential services for residents, while also reducing spending beyond the market. <i>Staff comment: The proposed development will bring opportunity for businesses to establish locally with rental space and can serve as an entry point for new businesses or businesses expanding to their first commercial/light industrial space.</i>
<u> √ </u>	<u> </u>	RE.ED4.1	Recruit tenants to the Valley View industrial Park and other underutilized areas of Town. <i>Staff comment: The proposed development is a creative way to create diverse use of Valley</i>

View Business Park. It also brings a level of density and unit size that could appeal to newer businesses, sole proprietorships, and tradespeople.

RE.FE1.3 Provide an efficient review and approvals process that creates a supportive business environment.

COMPLIANCE WITH THE TOWN OF HAYDEN DEVELOPMENT CODE

While the Hayden Development Code (Code) contains numerous regulations regarding land use, staff has selected the following checklist to highlight the regulations directly applicable to this application. Interested parties are encouraged to review the Code to determine if there are other regulations that may be applicable to the review of this application.

Chapter 10.16 – Development Review Procedures

Section 10.16.060 – Conditional Use.

In order to provide flexibility and to help diversify uses within a zoning district, specified uses are permitted in certain districts subject to the granting subject to the granting of a conditional use permit. Specific conditional uses for each zone district are listed in the Table of permitted and conditional uses by Zoning District. Because of their unusual or special characteristics, conditional uses require review and evaluation so that they may be located properly with respect to their effects on surrounding properties. The review process prescribed in this Section is intended to assure compatibility and harmonious development between conditional uses, surrounding properties and the Town at large. Conditional uses may be permitted subject to such conditions and limitations as the Town may prescribe to ensure that the location and operation of the conditional uses will be in accordance with the conditional use criteria. The scope and elements of any conditional use may be limited or qualified by the conditions applicable to the specific property. Where conditions cannot be devised to achieve these objectives, applications for conditional use permits shall be denied.

Complies		Section
Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	(b) Review Criteria. The Planning Commission and Council shall use the following review criteria as the basis for recommendations and decisions on applications for conditional uses:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	(1) The proposed conditional use is consistent with the Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations. <i>Staff comment: See the analysis herein. A</i>

finding is this regard is recommended below.

- | | |
|----------------|--|
| <u>√</u> _____ | (2) The proposed conditional use is compatible with the purpose and intent of the zoning district in which it is located and any applicable use-specified standards in the Development Code. <i>Staff comment: See the analysis herein. A finding in this regard is recommended below.</i> |
| <u>√</u> _____ | (3) The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics. <i>Staff comment: The subdivision in which the subject parcel is located contains similar uses to the plans the applicant has proposed. The proposal contains appropriate and expected uses in this area.</i> |
| <u>√</u> _____ | (4) The proposed conditional use will not substantially alter the basic character of the district in which it is in or jeopardize the development or redevelopment potential of the district. <i>Staff comment: The proposal will not alter the character of the area or jeopardize future development. A finding in this regard is recommended below.</i> |
| <u>√</u> _____ | (5) The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site. <i>Staff comment: See the analysis herein. A finding in this regard is recommended below.</i> |
| <u>√</u> _____ | (6) Any significant adverse impacts (including but not limited to hours of operation, traffic generation, lighting, noise, odor, dust and other external impacts) anticipated to result from the conditional use will be mitigated or offset to the maximum extent practicable. <i>Staff comment: Notice to surrounding property owners and agency referrals have not identified any issues. The proposed development is similar to other developed parcels in the Valley View Business Park in intensity of use, type of use, and scale of development. A recommended condition of approval has been included pertaining to notice provided in a rental lease to solely residential occupants indicating that this property is zoned Light Industrial and therefore noise, traffic, and</i> |

activities associated with light industrial and commercial activities shall be expected in the vicinity of these units. This condition is a mitigation effort to advise prospective tenants of impacts that are less compatible with residential occupation.

- | | |
|----------------|---|
| <u>√</u> _____ | (7) Facilities and services (including sewage and waste disposal, water, gas, electricity, police and fire protection and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service for existing development. <i>Staff comment: A referral was made to local agencies. Availability of services are adequate.</i> |
| <u>√</u> _____ | (8) Adequate assurances of continuing maintenance have been provided. <i>Staff comment: See the analysis herein. A finding in this regard is recommended below.</i> |
| <u>√</u> _____ | (9) The proposed conditional use meets all the applicable standards in Chapter 10.24 Development Standards. <i>Staff comment: See the analysis herein. A finding in this regard is recommended below.</i> |
| <u>√</u> _____ | (d) Authority to Impose Conditions on Permit. The Council may approve conditional use permit that have the following conditions or limitations: The conditional use may be revocable; may be granted for a limited time period; or may be granted subject to conditions as the Council may determine appropriate to mitigate adverse impacts, promote compatibility with surrounding uses, or otherwise necessary to meet the review criteria. Conditions may include, but shall not be limited to: requiring special setbacks, open spaces, fences or walls, landscaping or screening, street dedication and improvement, regulation of vehicular access and parking, signs, illumination, hours and methods of operation, control of potential nuisances, prescription of standards for maintenance of buildings and grounds, and prescription of development schedules. <i>Staff comment: Conditions of approval are recommended below.</i> |

Chapter 10.20 – Zone Districts and Official Zoning Map

Section 10.20.120 – Light Industrial (I-1) Zone District

Complies		Section	Standards
Yes	No		
<u>√</u>	_____	(a)	Intent. I-1 Light Industrial District. It is the intent of this district to provide locations for a variety of workplaces including light industrial uses, research and development offices and institutions and complementary secondary uses. Additionally, this district is intended to encourage the development of planned office and business parks and to promote excellence in the design and construction of buildings, outdoor spaces, transportation facilities and streetscapes.
<u>√</u>	_____	(-)	Conditional uses. Permitted conditional uses in the I-1 Zone District shall be as follows: 1. Dwellings, Mixed Use. <i>Staff comment: The scope of uses under this proposal conform to these conditionally permitted uses.</i>

Chapter 10.24 – Development Standards

Section 10.24.020 – Dimensional and Setback Standards

Complies		Section	Standards
Yes	No		
<u>√</u>	_____	(-)	Dimensional Standards Table 10.24-1. I-1 – Light Industrial Zone District. Minimum structure setbacks: 20' from front property line, 15' from side property line, and 20' from rear property line. Maximum structure height: 35'. <i>Staff comment: The applicant's site plan and elevations indicate that all setbacks and height standards are met.</i>

Section 10.24.080 – Access Standards

Complies		Section	Standards
Yes	No		
		(-)	Industrial lot access to adjacent street. Driveway

√ _____

access to a local or collector street from a multi-family residential, commercial, business or industrial lot shall be greater than one hundred twenty-five (125) feet from any street intersection as measured from the intersecting right-of-way lines. *Staff comment: As the result of the existing subdivision layout and road system, creating a driveway access point that exceeds 125' from any intersection is physically impossible. This development is unique in the aspect that they applicant is consolidating three (3) existing lots and proposing two (2) access points, thus reducing the overall number of driveways anticipated in the Valley View Subdivision. The access points proposed has been reviewed and approved by Hayden Public Works.*

10.24.100 – Parking

Complies Yes	No	Section	Standards
<u>√</u>	_____	(B)	<p>General Provisions. In all zone districts, off-street parking facilities for the storage of motor vehicles for the use of occupants, employees and patrons of the building or structures hereafter erected, altered or extended shall be provided and maintained as herein prescribed.</p>
<u>√</u>	_____	(1)	<p>Surface. All parking and driveway areas and primary access to parking facilities shall be surfaced with asphalt, concrete or similar materials. <i>Staff comment: The applicant has proposed to pave the access and parking areas in compliance with this standard. A recommended condition of approval has been included.</i></p>
<u>√</u>	_____	6.	<p>Off-Street Parking Design. Any off-street parking area shall be designed so that vehicles may exit without backing onto a public street unless no other practical alternative is available. Off-street parking areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks or strike against or damage any wall, vegetation, utility or other</p>

structure. *Staff comment: The site plan depicts a parking plan that is entirely onsite and will not require vehicles to back out onto the public road. The paved area is adequate for large vehicle circulation and deliveries associated with commercial/light industrial uses.*

√ _____

8. **Striping.** All parking areas shall be striped to identify individual parking spaces. *Staff comment: Striping is shown on the site plan. A condition is recommended below that requires the parking area be striped in accordance with this standard.*

√ _____

9. **Lighting.** All parking area lighting shall be full cutoff type fixtures. Any light used to illuminate parking areas or for any other purpose shall be so arranged as to reflect the light away from nearby residential properties, and away from the vision of passing motorists. *Staff comment: A recommended condition of approval has been included requiring that lighting comply with this standard.*

√ _____

- (c) **Paved off-street parking** shall be provided according to the minimum requirements as specified: Dwelling units: One space per bedroom, to two per unit. Industrial: One space each for max. number of employees onsite and space to accommodate equipment. *Staff comment: The development is proposing Thirty-two (32) exterior parking spaces and twelve (12) interior parking spaces for a total of forty-four (44) parking spaces. The interior parking spaces have tandem exterior parking. This development is unique because the live and work components can either be lease together or separately. The residential units have a requirement of twenty-four (24) parking spaces. The specific commercial/industrial uses are unknown as these are tenant finish type units. The parking plan as provided allows for some flexibility in use and occupancy of the units which anticipates that some of the tenants will occupy both the live and work portions and some work portions will be occupied by unique tenants. A recommended condition of approval has been included.*

- (e) **Handicap parking spaces.**

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<table border="0" style="width: 100%;"> <tr> <td style="width: 50%; text-align: center;">√</td> <td style="width: 50%; text-align: center;">_____</td> </tr> <tr> <td style="text-align: center;">Yes</td> <td style="text-align: center;">No</td> </tr> </table>	√	_____	Yes	No				
√	_____							
Yes	No							

Section 10.24.140 – Contribution for Public School Site

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√	_____							
Yes	No							

Section 10.24.160 – Landscape Design

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<table border="0" style="width: 100%;"> <tr> <td style="width: 50%; text-align: center;">√</td> <td style="width: 50%; text-align: center;">_____</td> </tr> <tr> <td style="text-align: center;">Yes</td> <td style="text-align: center;">No</td> </tr> </table>	√	_____	Yes	No				
√	_____							
Yes	No							

√ _____

- (6) **Parking Lot Landscaping Standards.** Parking lot landscaping is intended break up large expanses of pavement, create shade, buffer views of parking lots from adjacent streets and development and enhance the overall appearance of each project. All parking lots with ten (10) spaces or more shall be subject to these requirements. The developer or assigns shall provide:
 (i) Site trees – a minimum of one (1) tree per five (5) parking spaces. Group trees together in islands which are a minimum of ten (10) feet wide. Use the landscaping to break up large expanses of pavement and to create a tree canopy for summer shade. *Staff Comment: The site has 32 exterior parking space meaning that six (6) trees are required. The overall development is four (4) trees short of this requirement and a recommended condition of approval has been included.*

Section 10.24.290 – Community Housing Standards

Complies	Section	Standards
Yes	No	
√	(a)	<p>Purpose. Purpose. The purpose of this Community Housing policy is to address the critical lack of housing across nearly all income levels that is imposing a high housing cost burden and limiting the local workforce. This mitigation is an effort to preserve the health, safety, welfare, and quality of life for residents in this community through housing that is attainable. This is accomplished through the establishment of community housing requirements for development, which requires a portion of all new residential development to be set aside for community housing purposes as a condition of approval for such development.</p>
√	(d)(1)(i)	<p>New Development Requirements. Residential developments of greater than four units shall be required to provide ten (10) percent of the total units as Community Housing AMI Category units, which shall include ten (10) percent of the total bedrooms. <i>Staff Comment: the proposed development contains twelve units which equates to a dedication of 1.2 units to the</i></p>

specified income levels in section 10.24.290 of the Hayden Development Code. Fractional remainders typically result in a fee in lieu however the applicant has proposed to instead dedicate one of the three (3) bedroom units as the affordable unit. This makes up over 10% over the overall bedroom count of the development (28 bedrooms across the project). Staff support this approach. The applicant has indicated that some of the units might be dedicated workforce housing for some of his employees which would further exempt units from the calculation.

Conditional Use Permit

RECOMMENDATION: Move to recommend approval of the Carlson's Corner live/work development Conditional Use Permit with the following findings of fact and conditions:

Findings of fact:

1. The proposed conditional use is consistent with the Hayden Forward Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations.
2. The proposed conditional use is consistent with the purpose and intent of the I-1: Light Industrial zone district and any applicable use-specific standards in the Development Code.
3. The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics.
4. The proposed conditional use will not substantially alter the basic character of the I-1: Light Industrial zone district or jeopardize the development or redevelopment potential of the I-1: Light Industrial zone district.
5. The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.
6. Any significant adverse impacts anticipated to result from the conditional use have been or will be mitigated or offset to the maximum extent practicable.
7. Facilities and services are or will be available to serve the subject property while maintaining adequate levels of service for existing development.
8. Adequate assurances of continuing maintenance have been provided.
9. The proposed conditional use meets all the applicable standards in Chapter 10.24 Development Standards.

Subject to the following conditions of approval:

1. The conditional use permit shall be authorized and approved by a resolution approved by the Town Council.
2. The effective date of this approval is the date upon which the Planning Commission approves the application. The approval shall expire two (2) years from its effective date, unless application for renewal of the Site Plan approval is approved pursuant to Section 10.16.020, Hayden Development Code (HDC).
3. All exterior lighting must be downcast and opaquely shielded and in compliance with section 10.24.210 HDC.
4. Updated landscaping plans that include four (4) additional trees shall be submitted to staff for administrative approval prior to the issuance of the building permit.
5. The property owner is responsible for designation and/or assignment of parking spaces within the development.
6. The driveways and parking areas must be paved and striped prior to the issuance of a Certificate of Occupancy/Approval.
7. All residential rental leases shall include the following disclosure "This property is zoned Light Industrial and therefore noise, traffic, and activities associated with light industrial and commercial activities shall be expected in the vicinity of these units."
8. The fee in lieu of School Site Dedication shall be conveyed to the Town prior to issuance of a Certificate of Occupancy in compliance with section 10.24.140 and 10.24.150 HDC.
9. Rental restriction agreement for the Community Housing unit shall be executed prior to issuance of a Certificate of Occupancy in compliance with section 10.24.290 HDC.

MANAGER'S RECOMMENDATION/COMMENTS: *I concur with this recommendation.*

Date: June 11, 2024

Ref: Project Narrative

SDC Ventures, LLC, Carlson's Corner Development

Lots 14, 15, & 16, Valley View Business Park, Hayden, Colorado

Scott Carlson, owner of lots 14, 15, 16, Valley View Business Park, doing business as SDC Ventures, LLC, proposes to develop this property as a live/work development for commercial/residential buildings to provide the need for residential units above commercial main level units.

This proposed development will consist of three buildings, each approximately 3,000 sq. ft footprint. The main buildings will consist of 4 similar units, each being 25 ft x 30 ft. (between 720 -750 sq ft) commercial lower level with a 750 sq. ft residential unit above. Buildings #1 and #3 end units to have 3 bedroom (930 sq. ft.) residential units. Each unit per building will be provided with the appropriate number of parking spaces and amenities. All units will remain under the ownership of SDC Ventures and rented out.

This proposed development will meet Community Housing Standards by setting aside one 3-bedroom unit for community housing. The entire development has a total of 28 bedrooms. The code requires ten percent of total bedrooms to be allocated towards community housing and rounding up to the nearest whole number. The cost to rent the 3-bedroom unit will not exceed 30% of the gross income of the household. An agreement with the Town of Hayden will be utilized to ensure the proper process is completed when establishing this restriction on this specific unit.

As required by Sec 10.24.140/150 of the Town of Hayden Municipal Code, the proposed development will pay fees in lieu of the equivalent land areas which would have been dedicated to public facilities. The developer, SDC Ventures and the Town of Hayden will agree on the proper market value of the land and pay a fee in lieu of the 1.84 acres that will be required.

The Lots are currently located in an industrial zoned area, neighboring the Coca Cola distribution plant and other industrial zoned lots. The development itself as well as the construction of the development should not cause any nuisances or impact to the surrounding residents. As described on the Site Plan, all dumpsters will be enclosed with a trash enclosure fence.



PO Box 774121
426 Oak Street
Steamboat Springs, CO 80487
970-879-7929

The development will consist of 12 units available for commercial operation. The type of work that will be performed in these units can greatly vary. SDC Ventures will rent the units out to meet the needs of the growing community however SDC Ventures will utilize discretion and have the ultimate control over each business that is operated out of this development. To accommodate the commercial operations, a centralized monument sign will be erected that will list all businesses below the Carlson Corner project name. Scott Carlson will maintain this sign.

A Certified Drainage Report, Landscape and Open Space Plan, Access Plan, and Lighting Plan are included in this submittal. Parking spaces and descriptions are listed within the Site Plan. Architectural Approach will be described in the architectural elevation sheets.

1 LANDSCAPE MASTER PLAN NOTES

- Prior to the start of any excavation for the project both on and off the site, the contractor shall notify the utility notification center of Colorado at: 1-800-522-1987 and verify that all existing utilities have been located and marked.
- Contractor(s) shall thoroughly familiarize themselves with all construction documents, specifications, and site conditions prior to bidding and prior to construction. Any discrepancies between drawings, specifications, and site conditions shall be reported immediately to the Landscape Designer for clarification and resolution prior to bidding or construction.
- All trees to be located outside of the water and sewer utility easements.
- All dimensions are taken to face of building except where otherwise noted.
- For layout and dimensioning of lots, see engineering drawings.
- Screened images show existing conditions. Where existing conditions lie under or are impinged upon by proposed buildings and/or site elements, the existing condition will be removed, abandoned and/or coppiced or demolished as required.
- Contractor shall begin maintenance immediately after planting and will continue until final acceptance. The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- The landscape contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. All plant materials are subject to the approval of the Landscape Designer, at the nursery, and at the site.
- All plant materials shall conform to the guidelines established by the American Association of Nurserymen. All plants to be balled in burlap or containerized, and shall bear the same relationship to final grade as to original grades before digging.
- Mulch for planted areas to be aged cedar bark, partially decomposed, dark brown in color and free of wood chips thicker than 1/4 inch. Stone mulch for planted areas to be a mixture of native stone, pea gravel, and other various sizes of indigenous material to be placed in such a way to be random and visually natural in appearance.
- Planting soil mix. Excavated soil to be thoroughly incorporated with black gold soil conditioner (or equivalent) to be added per manufacturer's recommended rates.
- All areas of the site which have been disturbed and not otherwise developed shall be loamed and seeded with a minimum depth of 6" depth topsoil.
- Landscape Area: 14,475 SF - 10.5% of Total Project Area (Irrigated) Open Space Area: 9,974 SF (Non-Irrigated)

2 IRRIGATION NOTES

- It is intended that all plant material shown on the Landscape Master Plan will be watered by an automatic irrigation system to be designed using common industry practices and principals. At a minimum, all plant material shall be drip irrigated to promote the health and vigor of the plantings installed, and shall utilize the latest water-saving technologies available. The system shall be installed in such a manner as to maintain efficiency and performance. The existing conditions of the site and built environment will determine the ultimate design and layout of the irrigation system. Multiple points of connection will be utilized to supply water for the landscape areas around the buildings and the parking islands. Irrigation taps to be installed in the mechanical rooms of the structures, and separate water meter and PRV shall be provided apart from the supply for the buildings. Screens shall be used to access all landscape areas isolated by walks or parking lots. A single irrigation controller with wireless remote connectivity and monitoring capabilities shall be used.
- At the request of the owner, an as-built plan will be required for submission at the conclusion of the project. All field changes will be recorded, and updated as necessary.
- Valve box locations are not to be installed in sod areas whenever possible. Take advantage of planting beds, and native turf areas outside the fence for potential valve box locations.
- Provide mainline isolation wherever possible through the use of schedule 40 PVC ball valves (to be sized as necessary).
- Multiple Points-of-Connection to be provided for providing irrigation water for the system. Locations have not been determined at this time. Locations to be designated prior to construction. Site plumber to provide 1/2" copper (minimum) extending 12" from the foundation wall, a minimum of 18" below grade. A fitting should be provided for conversion to PVC. When not located in building mechanical rooms, remote locations may be provided.
- The location of the irrigation controller has not been determined at this time. A 110V dedicated circuit will be required as a power source for the controllers. Locations to be specified prior to installation. Mounting and connection of 110V power to controller will be required.

3 SAMPLE PLANT LIST

COMMON NAME	SCIENTIFIC NAME	SIZE
Subalpine Fir	Abies lasiocarpa	6-12' Height
Rocky Mountain Maple	Acer glabrum	1.5' - 3.5' cal
Quaking Aspen	Populus tremuloides	1.5' - 3.5' cal
Northern Acclaim Honeylocust	Gleditsia tricanthos/inermis Northern Acclaim	2.0' - 2.5' cal
Prairie Fire Crabapple	Malus 'Prairie Fire'	2.0' - 2.5' cal
Spring Snow Crabapple	Malus 'Spring Snow'	2.0' - 2.5' cal
Colorado Blue Spruce	Picea colorata	6' - 12' Height
Lodgepole Pine	Pinus contorta	6' - 12' Height
Bristlecone Pine	Pinus longevae	6' - 10' Height

COMMON NAME	SCIENTIFIC NAME	SIZE
Glenn Spruce	Picea pungens 'Glenn's Globosa'	#7 Pot
Mugo Pine	Pinus mugo 'Slowmound'	#7 Pot
Blue Chip Juniper	Juniperus horizontalis 'Blue Chip'	#5 Pot
Buffalo Juniper	Juniperus sibirica 'Buffalo'	#5 Pot

COMMON NAME	SCIENTIFIC NAME	SIZE
Saskatoon Serviceberry	Ametancher trifloria	#7 Pot
Redwing Dogwood	Cornus stolonifera	#5 Pot
Blackberry	Rubus idaeus	#5 Pot
Yellow Potentilla	Potentilla fruticosa	#5 Pot
Pink Potentilla	Potentilla fruticosa 'pink beauty'	#5 Pot
Red Honey Suckle	Lonicera maackii 'Red Heart'	#7 Pot
Goldflame Spirea	Ribes aureum	#5 Pot
Native Pine Strain Rose	Rosa woodsii 'Blair'	#5 Pot
Common Lilac	Syringia vulgaris	#7 Pot

COMMON NAME	SCIENTIFIC NAME	SIZE
Rocky Mountain Columbine	Aquilegia canadensis	#1 Pot
Showy Daisy	Aster alpinus 'goliath'	#1 Pot
Lanceleaf Coreopsis	Coreopsis lanceolata	#1 Pot
Granite Pink Dianthus	Dianthus spp.	#1 Pot
Purple Creechwillow	Echinacea purpurea	#1 Pot
Cranesbill Geranium	Geranium spp.	#1 Pot
Rocky Mountain Summer Daylily	Hemerocallis 'Rocky Mountain Summer'	#1 Pot
Blue Lupine	Lupinus 'the governor'	#1 Pot
Red Bee-Balm	Monarda 'scarlet red'	#1 Pot
Oriental Poppy	Papaver orientale	#1 Pot
Rocky Mountain Penstemon	Penstemon strictus	#1 Pot
Black-eyed Susan	Rutbeckia fulgida 'goldstrum'	#1 Pot

COMMON NAME	SCIENTIFIC NAME	SIZE
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	#1 Pot
Blue Oat Grass	Helictotrichon sempervirens	#1 Pot

COMMON NAME	SCIENTIFIC NAME	SIZE
Sweet Woodruff	Galium odoratum	Flat - F15
Blue Creeping Phlox	Phlox subulata 'surreal blue'	Flat - F15
Creeping Yellow Potentilla	Potentilla reptans	Flat - F15
Rock Soapwort	Saponaria scymoides	Flat - F15
Goldenseal Stonecrop	Sedum acre evergreen	Flat - F15
Dragon's Blood Sedum	Sedum 'Dragon's Blood'	Flat - F15
Creeping Speedwell	Veronica repens	Flat - F15
Petarrick	Vinca minor	Flat - F15

NOTE: All plants to conform with the landscape section of the Hayden Development Code as adopted on November 16th, 2017.

4 GRASS SEED MIXTURES

TRADE OR INDUSTRY NAME	SEED COMMON NAME	PERCENT OF MIX	COMMENTS
TRANSITION TURF MIX	Smooth Brome, VNS	40%	Broadcast Seeding Rate: 1-2 lbs. per 1,000 SF
	Perennial Ryegrass, VNS	25%	
	Tall Fescue, Turf Type, VNS	25%	
	Canada Bluegrass, VNS	10%	
LOW GROW HIGH ALTTUDE	Crested Wheatgrass, Ephraim	30%	Broadcast Seeding Rate: 30-35 lbs. per Acre
	Perennial Ryegrass, VNS	25%	
	Sheep Fescue, VNS	15%	
	Chewing Fescue, Shadow II	15%	
	Upland Bluegrass, Dryer	15%	
DRYLAND PASTURE MIX	Dahurian Wildrye, James	30%	Broadcast Seeding Rate: 30-35 lbs. per Acre
	Forage Perennial Ryegrass, VNS	20%	
	Orchardgrass, Profile	15%	
	Smooth Brome, VNS	15%	
	Intermediate Wheatgrass, Rush	15%	
MOUNTAIN MEADOW MIX	Pubescent Wheatgrass, Luna	15%	Broadcast Seeding Rate: 40-60 lbs. per Acre
	Winter Rye (cereal grain)	20%	
	Forage Perennial Ryegrass, VNS	20%	
	Mountain Brome, Bromar	20%	
	Timothy, Climax	15%	
	Forage Kentucky Bluegrass, VNS	14%	
	Orchardgrass, Potomac	10%	
Alsike Clover	01%		
ALL-BLUE KENTUCKY BLUEGRASS	Kentucky Bluegrass, Jackpot	20%	Broadcast Seeding Rate: 3-5 lbs. per 1,000 SF
	Kentucky Bluegrass, Milagro	20%	
	Kentucky Bluegrass, Blue Devil	20%	
	Kentucky Bluegrass, Mercury	20%	
	Kentucky Bluegrass, Rockstar	20%	
EMERALD II TALL FESCUE	3-Way Blend of Elite Turf Type Tall Fescue with Excellent disease tolerance and turf uniformity	100%	Broadcast Seeding Rate: 8-12 lbs. per 1,000 SF

NOTE: Application rates per manufacturers specifications. Accepted methods of application include: Broadcast with Penn Mulch, and hydroseeding.

5 LANDSCAPE MASTER PLAN LEGEND

Proposed Large Deciduous Trees (04 Total)
Populus angustifolia, *Gleditsia*, etc.
 2.50" minimum caliper (Single Stem)

Granite or Moss Rock Boulders

Proposed Evergreen Trees (00 Total)
Picea pungens, *Pinus ponderosa*, etc.
 Heights Vary

Proposed Quaking Aspen (00 Total)
Populus tremuloides
 2.50" minimum caliper (Clumps and Single Stem)

Native Grass or irrigated Turf Grass - As Labeled (See Seed Mixtures)

Native and cultivated evergreen shrubs (22 Total)
Juniperus, *Picea*, *Pinus* spp.

Native and cultivated deciduous shrubs (22 Total)
Prunus, *Comus*, *Rosa*, etc.

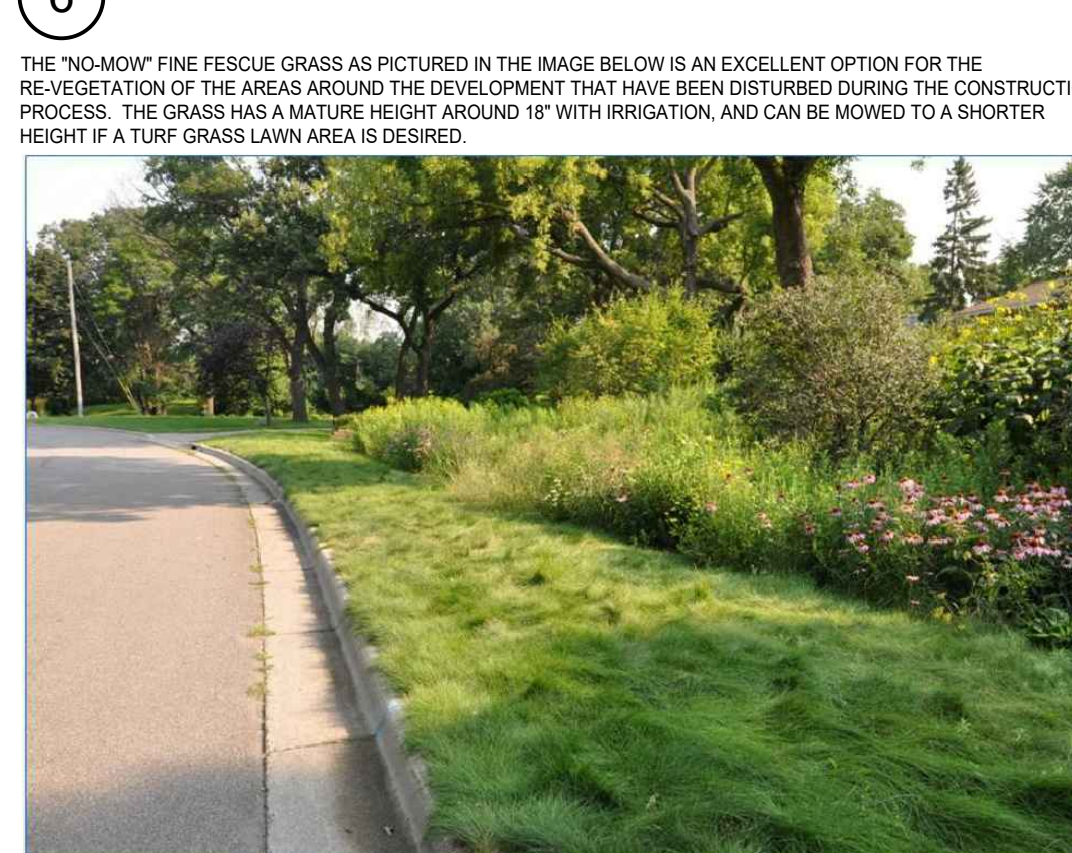
Proposed Ornamental Trees (03 Total)
 Flowering Crabapple-Malus hybrids
 Size: 2.50" Minimum Caliper

Perennial Groundcovers
 Native and Ornamental Perennials (000 Total)
 Size: #1 Container Minimum
 Steel Edger

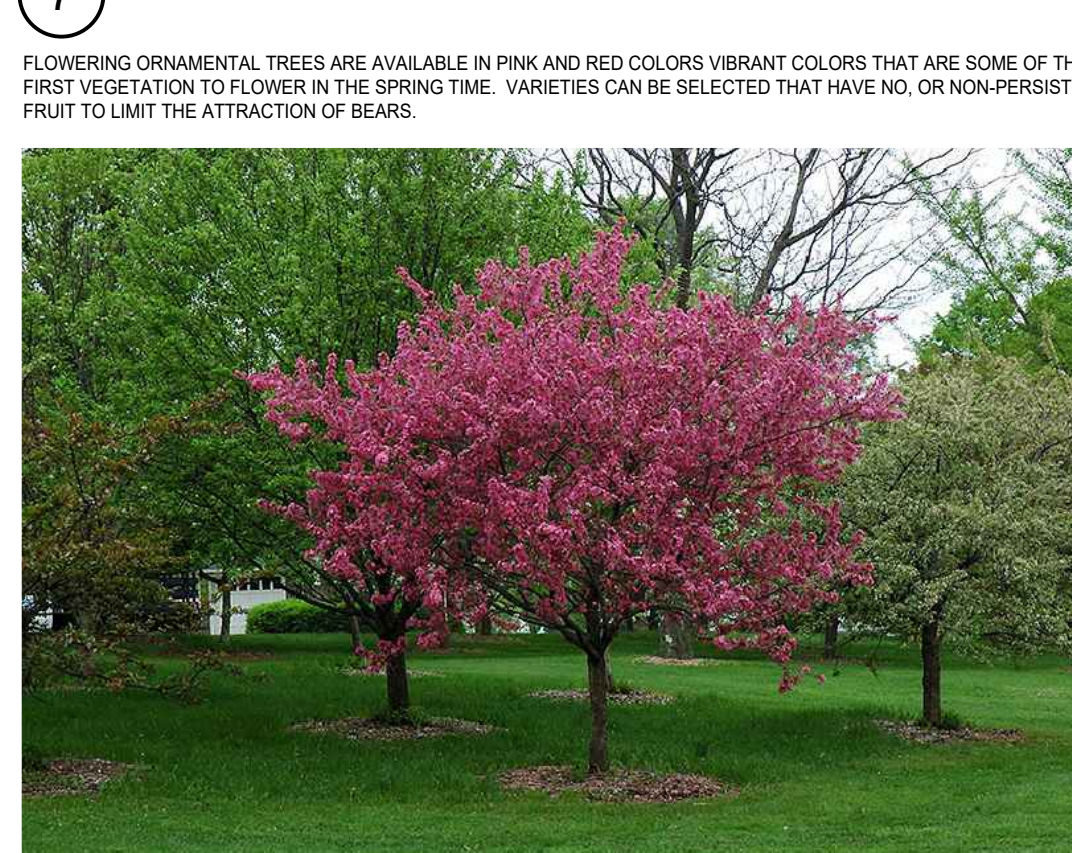
PROPERTY BOUNDARY
 ADJACENT PROPERTY BOUNDARY
 EXISTING EASEMENT
 EXISTING SETBACK
 EXISTING EDGE OF ASPHALT
 PROPOSED EDGE OF ASPHALT
 EXISTING 3 FT CONTOUR
 EXISTING 10 FT CONTOUR
 PROPOSED 3 FT CONTOUR
 PROPOSED 10 FT CONTOUR
 EXISTING EDGE OF GRAVEL
 CENTER LINE OF DITCH
 EXISTING WATER LINE
 EXISTING WATER LINE
 EXISTING SEWER LINE
 PROPOSED SEWER LINE
 EXISTING MANHOLE AND CLEANOUTS
 PROPOSED MANHOLE AND CLEANOUTS
 EXISTING ELECTRICAL

EXISTING TELEPHONE
 UTILITY PEDESTALS
 POWER POLE
 GAS
 STORM INLET
 PR CULVERT W/ FLARED END SECT
 EX CULVERT W/ FLARED END SECT
 EXISTING FENCE
 PROPOSED EDGE OF CONCRETE
 DECK
 PROPOSED BUILDING
 OVERHANG
 SIDEWALK/BOARDWALK
 VEGETATION OUTLINE
 CONCRETE
 ASPHALT
 GRAVEL
 ROCK/RIIP RAP

6 SAMPLE IMAGE - "NO MOW" FESCUE



7 SAMPLE IMAGE - ORNAMENTAL FLOWERING TREE



8 SAMPLE IMAGE: STREET TREES



9 LANDSCAPE MASTER PLAN

ENLARGEMENT - SEE SHEET L2

INDUSTRIAL AVE

OPTIONAL AREA OF IRRIGATED TURF GRASS

ENTRANCE

EDGER MATERIAL

PROPOSED DECIDUOUS STREET TREE (TYPICAL)

PARKING

UNIT #1

UNIT #2

UNIT #3

UNIT #4

TRASH

UNIT #5

UNIT #6

UNIT #7

UNIT #8

UNIT #9

UNIT #10

UNIT #11

UNIT #12

PROPOSED ORNAMENTAL TREE (TYPICAL)

DECIDUOUS STREET TREE

PROPERTY LINE (TYPICAL)

EASEMENT LINE (TYPICAL)

ADJACENT PROPERTY

DRAINAGE SWALE WITH RIP-RAP (SEE ENGINEERING DRAWINGS)

STONE AGGREGATE FOR MULCH IN DRIP LINES

PROPOSED EDGER MATERIAL (TYPICAL)

PROPERTY LINE (TYPICAL)

OPTIONAL DECORATIVE BOULDERS

NON-IRRIGATED NATIVE GRASSES (OR SIMILAR) IN THIS AREA

ADJACENT PROPERTY

NON-IRRIGATED NATIVE GRASSES (OR SIMILAR) IN THIS AREA

DRAINAGE SWALE WITH VEGETATION (SEE ENGINEERING DRAWINGS)

ENLARGEMENT - SEE SHEET L2

440 S. Lincoln Ave, Suite 4B
 P.O. Box 775966
 Steamboat Springs, CO 80487
 (970)-871-6772
 matthew@fourpointss.com

No.	DATE	REVISIONS

LOTS 14-16 VALLEY VIEW BUSINESS PARK

INDUSTRIAL AVE
 HAYDEN, CO 81639

Horizontal Scale

1" = 30'

Contour Interval = 2 ft

DATE: 02/07/2024
 JOB #: 2278-001
 DRAWN BY: AAB
 DESIGN BY: AAB
 REVIEW BY: WNM

LANDSCAPE MASTER PLAN

DRAWING: SHEET #

L1

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN A4 X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING: SHEET #



440 S. Lincoln Ave, Suite 4B
 P.O. Box 775966
 Steamboat Springs, CO 80487
 (970)-871-6772
 matthew@fourpointss.com

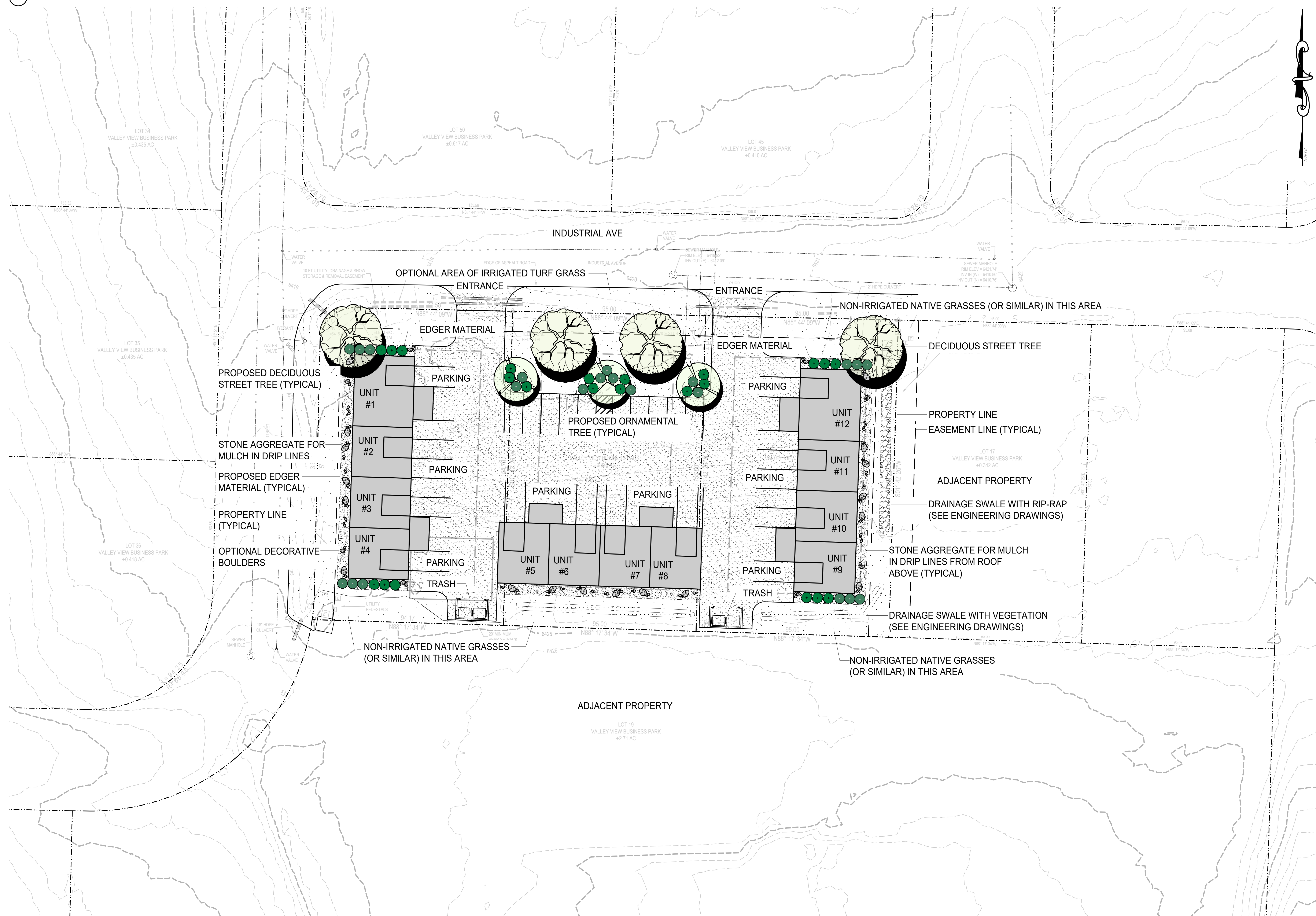
INT	REVISIONS	DATE	No.

LOTS 14-16 VALLEY VIEW BUSINESS PARK
 INDUSTRIAL AVE
 HAYDEN, CO 81639

Horizontal Scale

 1" = 20'
 Contour Interval = 2 ft
 DATE: 02/07/2024
 JOB #: 2278-001
 DRAWN BY: AAB
 DESIGN BY: AAB
 REVIEW BY: WNM
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36" THE GRAPHIC SCALE SHOULD BE UTILIZED.

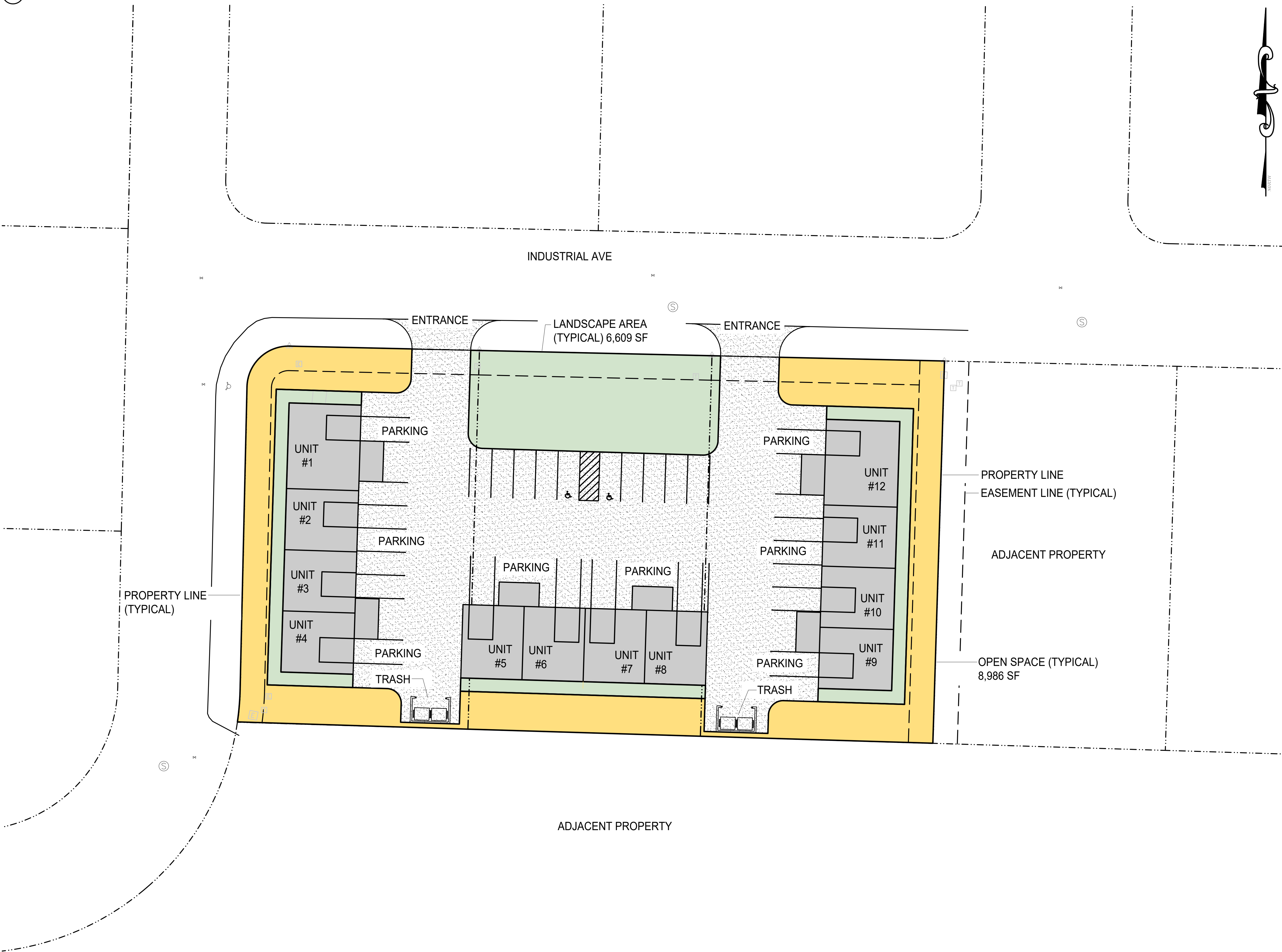
DRAWING:
 LANDSCAPE
 MASTER PLAN
 ENLARGEMENT
 SHEET #
L2



1 LANDSCAPE AREA DELINEATION PLAN LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EXISTING EASEMENT
- EXISTING SETBACK
- EXISTING EDGE OF ASPHALT
- PROPOSED EDGE OF ASPHALT
- EXISTING 2 FT CONTOUR
- EXISTING 10 FT CONTOUR
- PROPOSED 2 FT CONTOUR
- PROPOSED 10 FT CONTOUR
- EXISTING EDGE OF GRAVEL
- CENTER LINE OF DITCH
- EXISTING WATER LINE
- EX CURB STOP, GATE VALVE, FIRE HYDRANT
- PROPOSED WATER SERVICE LINE
- PR CURB STOP, GATE VALVE, FIRE HYDRANT
- THRUST BLOCK
- EXISTING SEWER LINE
- EXISTING MANHOLE AND CLEANOUTS
- PROPOSED SEWER LINE
- PROPOSED MANHOLE AND CLEANOUTS
- EXISTING ELECTRICAL
- EXISTING TELEPHONE
- UTILITY PEDESTALS
- POWER POLE
- GAS
- STORM INLET
- PR CULVERT W/ FLARED END SECTIONS
- EX CULVERT W/ FLARED END SECTIONS
- EXISTING FENCE
- PROPOSED EDGE OF CONCRETE
- DECK
- PROPOSED BUILDING
- OVERHANG
- PROPOSED DETENTION BASIN
- SIDEWALK/BOARDWALK
- PERIMETER DRAIN
- WALL
- VEGETATION OUTLINE
- ASPHALT
- CONCRETE
- GRAVEL
- ROCK/RIP RAP
- OPEN SPACE - 8,986 SF
- LANDSCAPE AREA - 6,609 SF

2 LANDSCAPE AREA DELINEATION PLAN



3 LANDSCAPE PLAN PREPARATION WORKSHEET

Project Name: Carlson Corner (Lots 14-16 Valley View Business Park)
 821, 831 & 841 Industrial Ave
 Hayden, CO 81639

Submission Date: 02-01-2024

Applicant: SDC Ventures, LLC
 PO Box 776064
 Steamboat Springs, CO 80477

Project Zoning: I-1

Project Land Use: Light Industrial District

Landscape Requirements: 15% of the site is to be Landscape Area (Total Area of Site = 1.01 Acres)
 6,609 SF (66.0%) of Landscape Area Provided (6,609 SF Calculated per 15% Minimum Required)
 01 Tree per 1,000 SF of Landscape Area - 07 Trees Required (07 Provided)
 01 Shrub per 150 SF of Landscape Area - 44 Shrubs Required (44 Provided)

FOUR POINTS
SURVEYING
ENGINEERING

440 S. Lincoln Ave, Suite 4B
 P.O. Box 775966
 Steamboat Springs, CO 80487
 (970)-871-6772
 matthew@fourpointss.com

No.	DATE	REVISIONS

LOTS 14-16 VALLEY VIEW BUSINESS PARK

INDUSTRIAL AVE
HAYDEN, CO 81639

Horizontal Scale

1" = 20'

Contour Interval = 2 ft

DATE: 02/07/2024
 JOB #: 2278-001
 DRAWN BY: AAB
 DESIGN BY: AAB
 REVIEW BY: WNM

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36" THE GRAPHIC SCALE SHOULD BE UTILIZED.

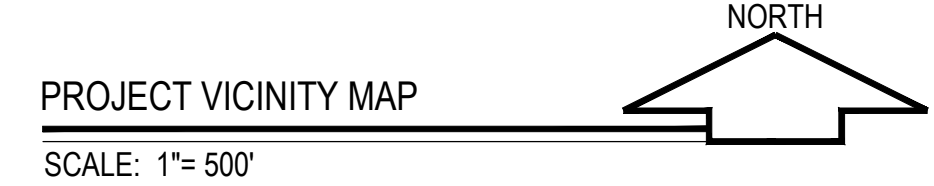
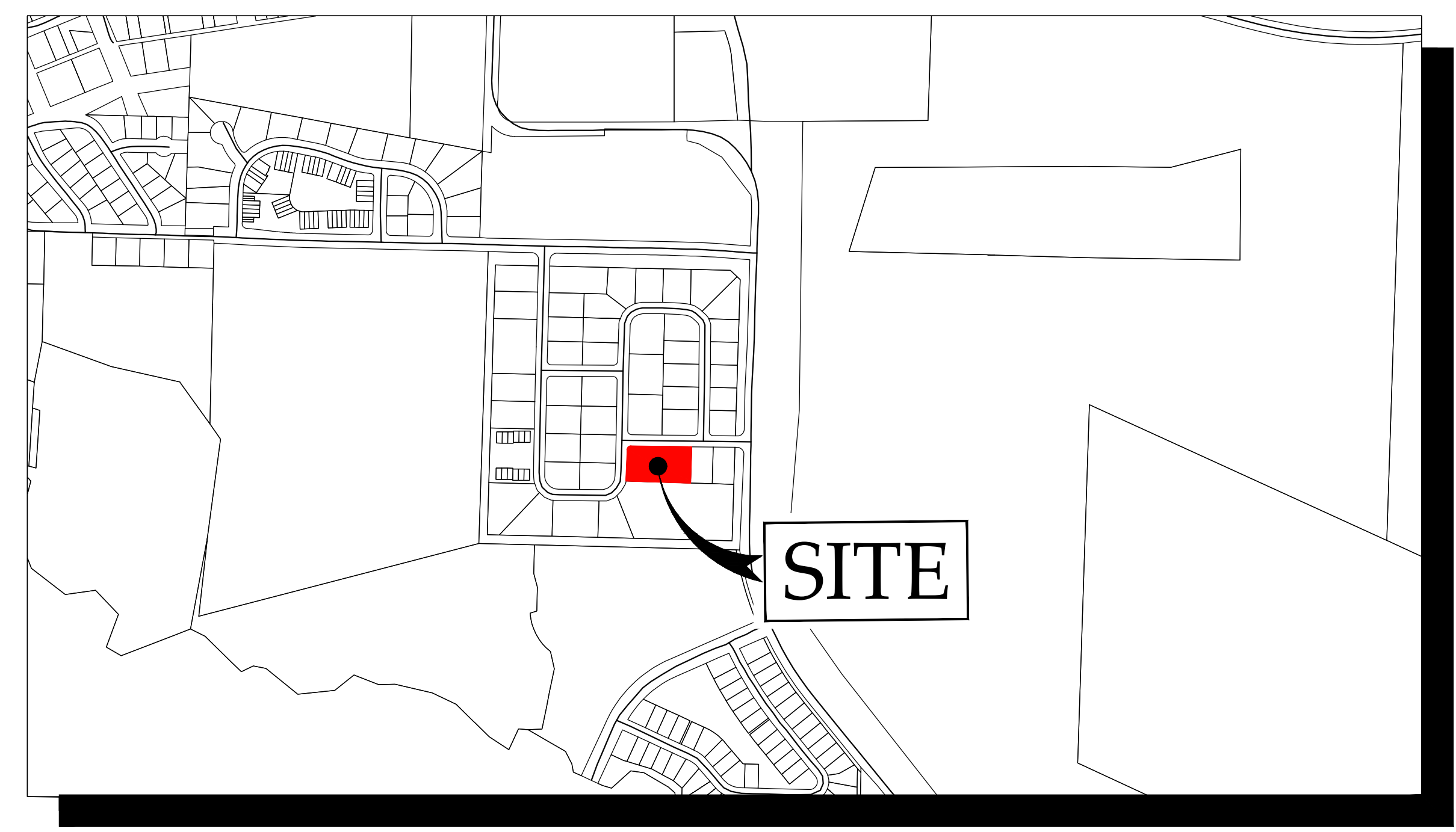
DRAWING:
LANDSCAPE AREA DELINEATION PLAN

SHEET #
L3

LEGEND	EXISTING	PROPOSED
PROPERTY BOUNDARY	_____	_____
SECTION LINE	_____	_____
LOT BOUNDARY	_____	_____
EASEMENT	_____	_____
SETBACK	_____	_____
EDGE OF ASPHALT	_____	_____
CURB	_____	_____
CURB FLOWLINE	_____	_____
2 FT CONTOUR	-5282	-5282
10 FT CONTOUR	-5280	-5280
EDGE OF GRAVEL	_____	_____
CENTER LINE OF DITCH	_____	_____
WATER LINE	_____	_____
CURB STOP, GATE VALVE, FIRE HYDRANT		
THRUST BLOCK		
SEWER LINE	_____	_____
MANHOLE AND CLEANOUTS		
ELECTRICAL - UNDERGROUND	_____	_____
ELECTRICAL - OVERHEAD	_____	_____
ELECTRICAL - OVERHEAD - HIGH VOLTAGE	_____	_____
ELECTRICAL-PRIMARY	_____	_____
FIBER OPTIC	_____	_____
TELEPHONE	_____	_____
UNDERGROUND	_____	_____
UTILITY PEDESTALS		
POWER POLE/LIGHT POLE		
GAS	_____	_____
FENCE	_____	_____
WOODEN FENCE	_____	_____
EDGE OF CONCRETE	_____	_____
DECK	_____	_____
BUILDING	_____	_____
OVERHANG	_____	_____
POND	_____	_____
SIDEWALK/ BOARDWALK	_____	_____
PERIMETER DRAIN	_____	_____
WALL	_____	_____
VEGETATION OUTLINE		
STORM INLET		
CULVERT W/ FLARED END SECTIONS (OUTLETS)		
ASPHALT		
CONCRETE		
GRAVEL/SOFT SURFACE		
ROCK/RIP RAP		
SNOW STORAGE		

"CARLSON CORNER" CIVIL SITE PLAN

821, 831 & 841 INDUSTRIAL AVE., HAYDEN CO 81639



SHEET INDEX

- C1 COVER/ NOTES
- C2 EXISTING CONDITIONS PLAN
- C3 OVERALL SITE PLAN
- C4 ENTRY ROADS PLAN & PROFILE
- C5 GRADING AND DRAINAGE PLAN
- DR1,DR2 DRAINAGE ANALYSIS
- CG.1 UTILITY PLAN
- CG.2 WATER MAIN PROFILE
- CG.3 SANITARY SEWER MAIN PROFILE
- C7 LIGHTING PLAN
- C8 DETAILS
- C9 CONSTRUCTION SITE MANAGEMENT PLAN
- L LANDSCAPING PLAN (HICKORY FLATS LDS)

PROJECT CONTACT LIST

- PROJECT OWNER**
SDC VENTURES LLC
- PROJECT ARCHITECT**
AMPLIFY ARCHITECTURE + DRAFTING
ATTN: KIERAN PATRICK O'HALLORAN
426 OAK STREET, PO BOX 774121
STEAMBOAT SPRINGS, CO 80477
OFFICE: (970) 879-7929
EMAIL: KIERAN@AMPLIFYARCH.COM
- CIVIL ENGINEER**
FOUR POINTS SURVEYING AND ENGINEERING
ATTN: Walter Magill
410 S. Lincoln Ave, Unit 15
P.O. Box 775966
Steamboat Springs, CO 80487
OFFICE: (970) 871-6772
CELL: (970) 819-1161
EMAIL: walterm@fourpointse.com
- PROJECT LANDSCAPE ARCHITECT**
HICKORY FLATS LANDSCAPE
ATTN: ANDY BENJAMIN
OFFICE: (970) 408-2371
EMAIL: HICKORYFLATSLDS@GAMIL.COM

UTILITY CONTACT LIST

- WATER AND SANITARY SEWER**
CITY OF STEAMBOAT SPRINGS WATER AND SANITATION DEPARTMENT
137 10TH ST
STEAMBOAT SPRINGS, CO 80487
CONTACT: AMBER GREGORY 970-871-8204
AGREGORY@STEAMBOATSPRINGS.NET
- ELECTRICAL**
YAMPA VALLEY ELECTRIC COMPANY
2211 ELK RIVER ROAD
STEAMBOAT SPRINGS, CO
CONTACT: LARRY BALL 970-871-2264
- GAS**
ATMOS ENERGY
30405 DOWNHILL DRIVE
STEAMBOAT SPRINGS, CO
CONTACT: DON CRANE 970-879-3223
- TELEPHONE**
CENTURY LINK
138 7TH STREET
STEAMBOAT SPRINGS, CO
CONTACT: JASON SHARPE 970-328-2517
JASON.SHARPE@CENTURYLINK.COM
- CABLE TELEVISION**
COMCAST
625 SOUTH LINCOLN, SUITE #205
STEAMBOAT SPRINGS, CO 80487
CONTACT: TONY HILDRETH 970-401-2782
TONY_HILDRETH@COMCAST.COM
- UTILITY NOTIFICATION CENTER OF COLORADO**
CALL TWO BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES
1-800-922-1987

GENERAL NOTES:

- BENCHMARK = FOUND #5 REBAR FLUSH TO GROUND, BEING THE NORTHEAST PROPERTY CORNER. ELEVATION = 6420.07' (SEE EXISTING CONDITIONS PLAN).
- EXISTING CONDITIONS SURVEYED BY FOUR POINTS SURVEYING & ENGINEERING COMPLETED ON DECEMBER 14, 2023. TOPOGRAPHY GENERATED FROM 2018 ROUTT COUNTY GIS LIDAR DATA.
- TOWN OF HAYDEN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH TOWN OF HAYDEN ENGINEERING AND CDC DESIGN CRITERIA AND CODE. THE TOWN IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS. DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
- ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.
- ALL INFRASTRUCTURE CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE CITY OF STEAMBOAT SPRINGS STANDARD SPECIFICATIONS, LATEST REVISION.
- ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE TOWN OF HAYDEN UTILITIES STANDARD SPECIFICATIONS, LATEST EDITION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK SUCH AS RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY WORK IN THE RIGHT-OF-WAY INCLUDING STREET CUTS, CONTACT ROUTT COUNTY ROAD AND BRIDGE FOR PERMIT REQUIREMENTS.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. PRIOR TO MAKING ANY CHANGES TO THE
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION.
- CONTRACTOR MUST SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) AND EROSION CONTROL PLAN (ECP) FOR REVIEW AND APPROVAL BY ROUTT COUNTY PLANNING PRIOR TO START OF CONSTRUCTION. THE CSMP AND ECP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
- THE FOLLOWING PRIVATE IMPROVEMENTS REQUIRE CONSTRUCTION OBSERVATION PER THE CITY OF STEAMBOAT SPRINGS ENGINEERING SERVICES SPECIFICATION OR AS REQUIRED BY THE CITY: WATER, SEWER, AND STORM SEWER.
- RECORD DRAWINGS ARE REQUIRED FOR: PUBLIC AND PRIVATE WATER AND SEWER. ALL PIPE OUTFALLS REQUIRE FLARED END SECTIONS AND RIPRAP.
- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT OR WHEN ACCESS TO UNDERGROUND UTILITIES IS REQUIRED. TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY. ASPHALT PATCHES IN THE RIGHT-OF-WAY SHALL BE PER ROUTT COUNTY ROAD AND BRIDGE SPECIFICATIONS.

GRADING:

- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- VEGETATED SLOPES 3:1 AND GREATER REQUIRE SOIL STABILIZATION WITH STRAW BLANKET AT MINIMUM UPON FINAL GRADING AND SEEDING/REVEGETATION.
- ADJUST RIMS OF CLEANOUTS, MANHOLES, VALVE COVERS TO FINAL GRADE.

EROSION CONTROL:

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) TO THE COUNTY PLANNING DEPARTMENT FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

WATER, SEWER AND UTILITY NOTES:

- EXISTING UTILITY LOCATIONS WERE OBTAINED FROM FIELD LOCATES AND FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLES. POTHOLES AND VERIFICATION OF LINE LOCATIONS SHALL BE REQUIRED AT ALL EXISTING UTILITY CROSSINGS.
- MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS TEN (10') FEET.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF STEAMBOAT SPRINGS WATER AND SEWER STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7') FEET UNLESS OTHERWISE NOTED. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
- MINIMUM SEPARATION BETWEEN UTILITY PEDESTALS AND FIRE HYDRANTS IS FIFTEEN (15') FEET. MINIMUM SEPARATION BETWEEN FIRE HYDRANTS, WATER OR SEWER MAINS, AND ENDS OF CULVERTS IS FIVE (5') FEET. MINIMUM SEPARATION BETWEEN WATER AND SEWER SERVICE LINES IS TEN (10') FEET. NO RIP-RAP IS PERMITTED WITHIN TEN (10') FEET OF A SEWER MAIN.
- VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY.
- SEWER SERVICES ARE ANTICIPATED TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2%, UNLESS NOTED OTHERWISE.
- WATER SERVICES ARE ANTICIPATED TO BE ONE (1") INCH DIAMETER, COPPER TYPE K, UNLESS NOTED OTHERWISE.
- DISINFECTION, BACTERIOLOGICAL, AND HYDROSTATIC TESTING IS REQUIRED FOR THE 8" DIP WATER/FIRE SERVICE PIPE.
- ALL MECHANICAL JOINTS, RESTRAINT, THRUST BLOCKS AND CROSSING MUST BE OBSERVED BY THE ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL.
- MECHANICAL RESTRAINTS AND THRUST BLOCKS ARE REQUIRED AT ALL BENDS, TEES, REDUCERS AND DEAD ENDS.
- ALL FITTINGS ASSOCIATED WITH UTILITY INSTALLATION WILL BE ON-SITE PRIOR TO WATER LINE SHUT DOWN.

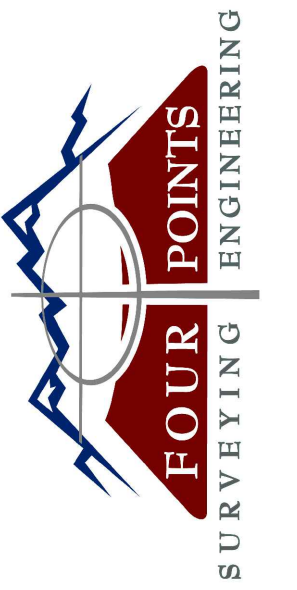


DEVELOPMENT PLANS PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT
	1	1-15-24	FPSE REDLINES	RS
DATE: 1-15-2024				
JOB #: 2278-001				
DRAWN BY: RS				
DESIGN BY: RS+MDM				
REVIEW BY: FPSE				
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36" THE GRAPHIC SCALE SHOULD BE UTILIZED.				

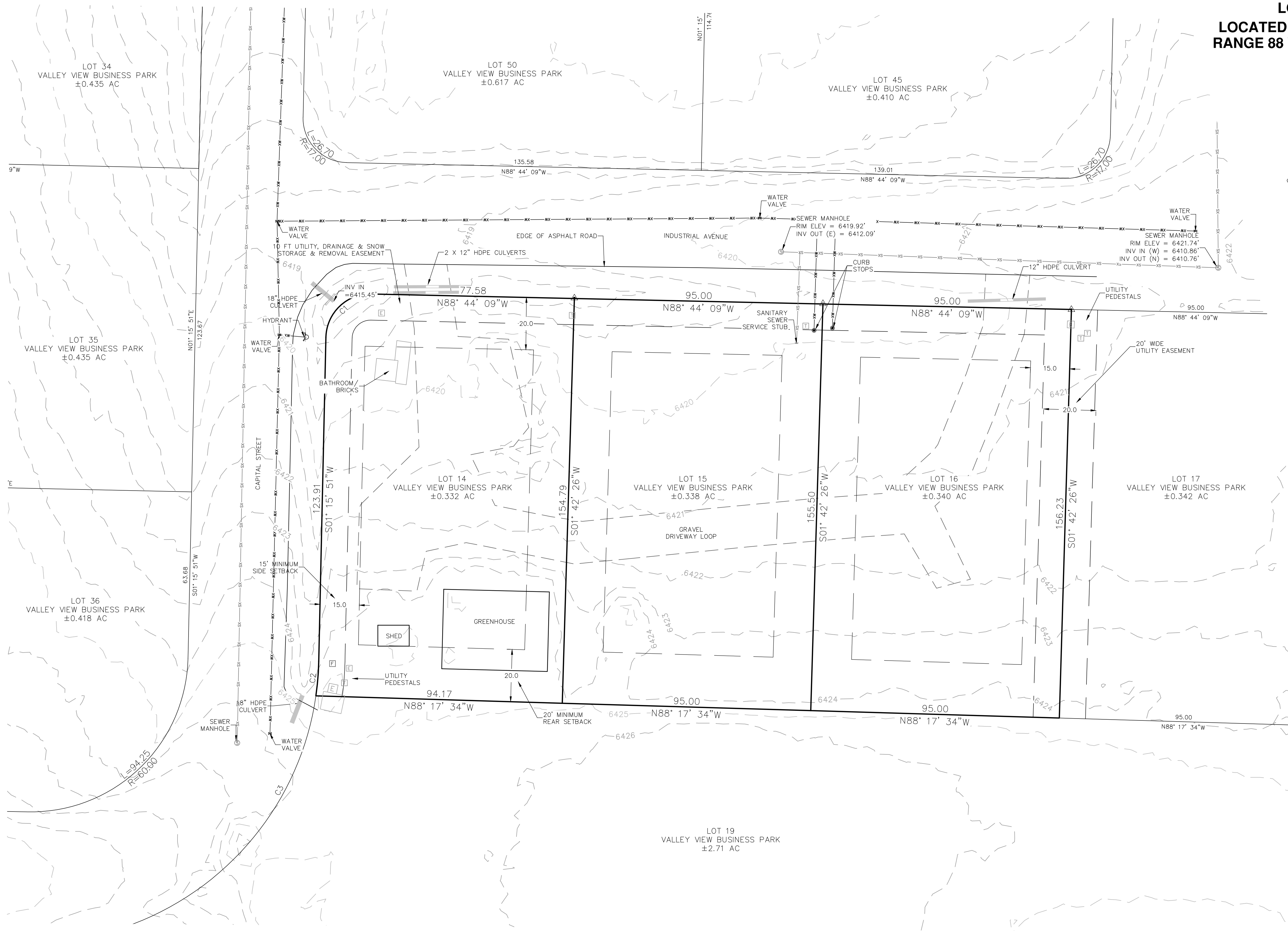
Four Points Surveying & Engineering
410 S. Lincoln Ave, Unit 15
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
walterm@fourpointse.com

C1

EXISTING CONDITIONS PLAN
LOTS 14-16, VALLEY VIEW BUSINESS PARK
 LOCATED IN THE SE ¼ OF SECTION 10, TOWNSHIP 6 NORTH,
 RANGE 88 WEST OF THE 6TH P.M., HAYDEN, ROUTT COUNTY,
 COLORADO



440 S. Lincoln Ave, Suite 4A
 P.O. Box 775966
 Steamboat Springs, CO 80487
 (970)-871-6772
 www.fourpointse.com



- NOTES:
- EXISTING CONDITIONS PLAN AND TOPOGRAPHIC SURVEY OF LOTS 14-16 YAMPA VALLEY BUSINESS PARK ACCORDING TO THE PLAT THEREOF AS RECORDED AT CLERK AND RECORDER'S OFFICE, AT FILE NO. 13572, SP 1618 COUNTY OF ROUTT, STATE OF COLORADO.
 - THE LOCATION OF IMPROVEMENTS ON LOTS 14-16 ARE PROVIDED BY AN ILC SURVEY FROM DOWLING LAND SURVEYS FROM 5-5-21.
 - THIS CERTIFICATE DOES NOT CONSTITUTE A TITLE SEARCH BY FOUR POINTS SURVEYING AND ENGINEERING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, OR TITLE OF RECORD, FOUR POINTS SURVEYING AND ENGINEERING, INC. RELIED UPON THE FINAL PLAT OF VALLEY VIEW BUSINESS PARK. NO ADDITIONAL TITLE RESEARCH WAS COMPLETED BY FOUR POINTS SURVEYING AND ENGINEERING.
 - LEGAL DESCRIPTION PROVIDED BY ROUTT COUNTY ASSESSOR.
 - LOCATES FOR UTILITIES WERE NOT REQUESTED OR OBTAINED BY FOUR POINTS SURVEYING AND ENGINEERING, INC. IN CONJUNCTION WITH THIS SURVEY. UTILITY LOCATES SHOULD BE OBTAINED PRIOR TO PERFORMING ANY WORK IN THE REFERENCED AREA.
 - STREET ADDRESS: 821, 831 & 841 INDUSTRIAL AVE, HAYDEN CO 81639.
 - PROPERTY CORNERS FOUND AND MARKED AS SHOWN HEREON.

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	26.70	17.00	89.99	S46° 17' 36"W	24.04
C2	13.18	110.00	6.87	N4° 41' 48"E	13.17
C3	78.74	110.00	41.01	N28° 38' 09"E	77.07

LEGEND

	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	CENTER LINE OF DITCH
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING UNDERGROUND TELEPHONE
	EXISTING WOOD FENCE
	EXISTING CONCRETE PAVING
	EXISTING BUILDINGS

No.	DATE	REVISIONS	
		RS	INT
1	1-15-24		

LOTS 14-16 VALLEY VIEW BUSINESS PARK
INDUSTRIAL AVE
HAYDEN, CO 81639

HORIZONTAL SCALE

0 20' 40'

SCALE: 1" = 20'

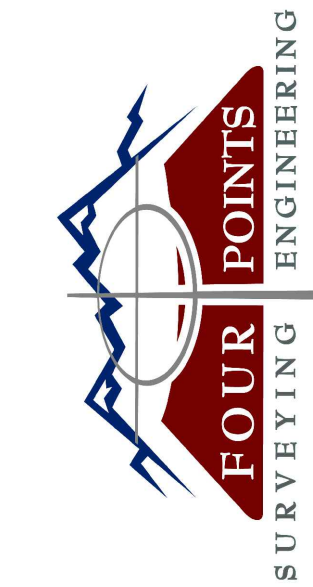
CONTOUR INTERVAL = 1 ft

DATE: 1-15-2024
 JOB #: 2278-001
 DRAWN BY: RS
 DESIGN BY: MDM, RS
 REVIEW BY: FPSE

EXISTING CONDITIONS PLAN

SHEET NO.
C2

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BE COMMENCED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN 10 YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



440 S. Lincoln Ave, Suite 4A
 P.O. Box 775966
 Steamboat Springs, CO 80487
 (970)-871-6772
 www.fourpointse.com

NO.	DATE	REVISIONS
1	1-15-24	INITIALS

LOTS 14-16 VALLEY VIEW BUSINESS PARK
 INDUSTRIAL AVE
 HAYDEN, CO 81639

HORIZONTAL SCALE

SCALE: 1" = 20'

CONTOUR INTERVAL = 1 ft

DATE: 1-15-2024
 JOB #: 2278-001
 DRAWN BY: RS
 DESIGN BY: MDM, RS
 REVIEW BY: FPSE

SITE PLAN

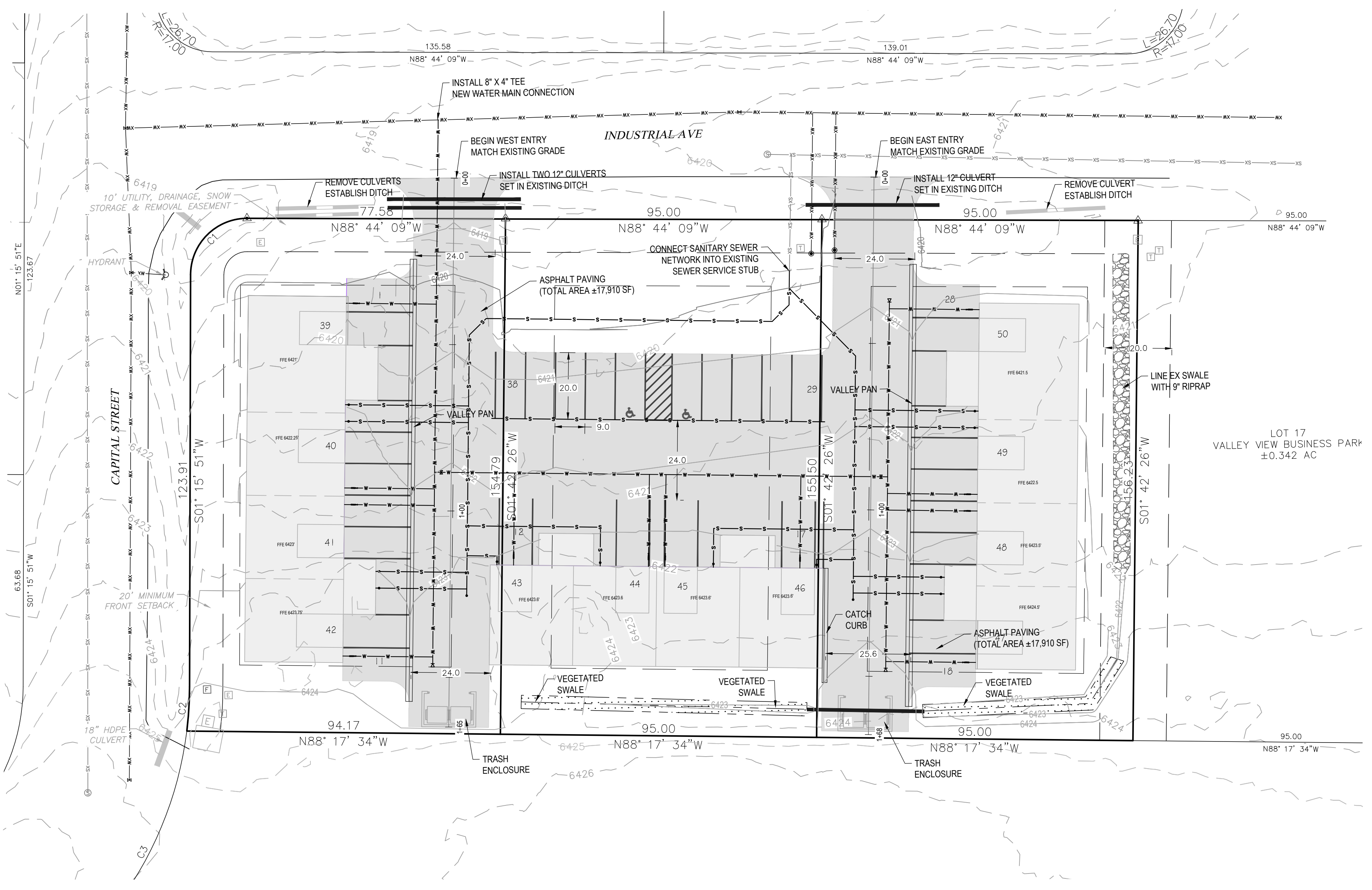
DRAWING:

SHEET NO.

C3

SITE PLAN

LOTS 14-16, VALLEY VIEW BUSINESS PARK
 LOCATED IN THE SE ¼ OF SECTION 10, TOWNSHIP 6 NORTH,
 RANGE 88 WEST OF THE 6TH P.M., HAYDEN, ROUTT COUNTY,
 COLORADO



LEGEND

	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING SETBACKS
	EXISTING EDGE OF ASPHALT
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	EXISTING DRAINAGE DITCH
	PROPOSED DRAINAGE DITCH
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SEWER MAIN
	PROPOSED SEWER SERVICE
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING FIRE HYDRANT
	PROPOSED ASPHALT PAVING
	PROPOSED PARKING STRIPING
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING FOOTPRINT
	SNOW STORAGE
	EXISTING LABEL
	PROPOSED LABEL

GENERAL NOTES:

- OWNER: SDC VENTURES LLC
- LEGAL DESCRIPTION (PER ROUTT COUNTY ASSESSOR): LOTS 14-16 VALLEY VIEW BUSINESS PARK.
- PARCEL IDS: 260200014, 260200015 & 260200016
- TOPOGRAPHIC DATA GENERATED FROM FIELD SURVEY DATA AND 2018 LIDAR DATA.
- PROPERTY CORNERS WERE FOUND AS INDICATED HEREON PER FIELD SURVEY. BENCHMARK: NORTHEAST PROPERTY CORNER, BEING A #5 REBAR FLUSH TO THE GROUND AT ELEVATION = 6420.07'
- DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- ALL FINISHED BARE GROUND SURFACES SHALL RECEIVE A MINIMUM OF 6" OF NATIVE TOPSOIL FOR FINAL GRADING AND SHALL BE RELATIVELY FREE OF STONES, CLODS, STICKS, AND OTHER DEBRIS.
- ALL FINISHED GROUND SHALL BE PROPERLY SEEDED, FERTILIZED, MULCHED AND VEGETATION ESTABLISHED PER THE LANDSCAPING PLAN.
- ALL FINISHED GROUND SHALL BE STABILIZED WITH ENGINEER APPROVED STRAW EROSION CONTROL BLANKET. APPLY GRASS SEED AND FERTILIZER OF OWNER'S CHOICE BEFORE AND AFTER STRAW BLANKET INSTALLATION AT THE APPROPRIATE SPECIFIC SEEDING RATE.
- ALL DISTURBED AREAS NOT RECEIVING GRAVEL SURFACING SHALL BE RE-VEGETATED WITHIN ONE CONSTRUCTION SEASON.
- ALL DETAILS PROVIDED SHALL BE ADHERED TO UNLESS OTHERWISE APPROVED BY CIVIL ENGINEER OR RECORD.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.

WATER, SEWER AND UTILITY NOTES:

- EXISTING DRY UTILITY LOCATIONS WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLING.
- MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF STEAMBOAT SPRINGS UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
- MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7) FEET. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
- MINIMUM COVER FROM FINISHED GRADE TO TOP OF SEWER SERVICE LINE IS FOUR (4) FEET. MINIMUM SLOPE FOR SEWER SERVICE LINE IS 2%. ALL SEWER SERVICE LINES SHALL BE SDR 35 PVC PIPE.
- VALVES SHALL BE OPERATED BY UTILITY PERSONNEL ONLY, UNLESS PERMISSION OF THE UTILITY COMPANY IS OBTAINED.

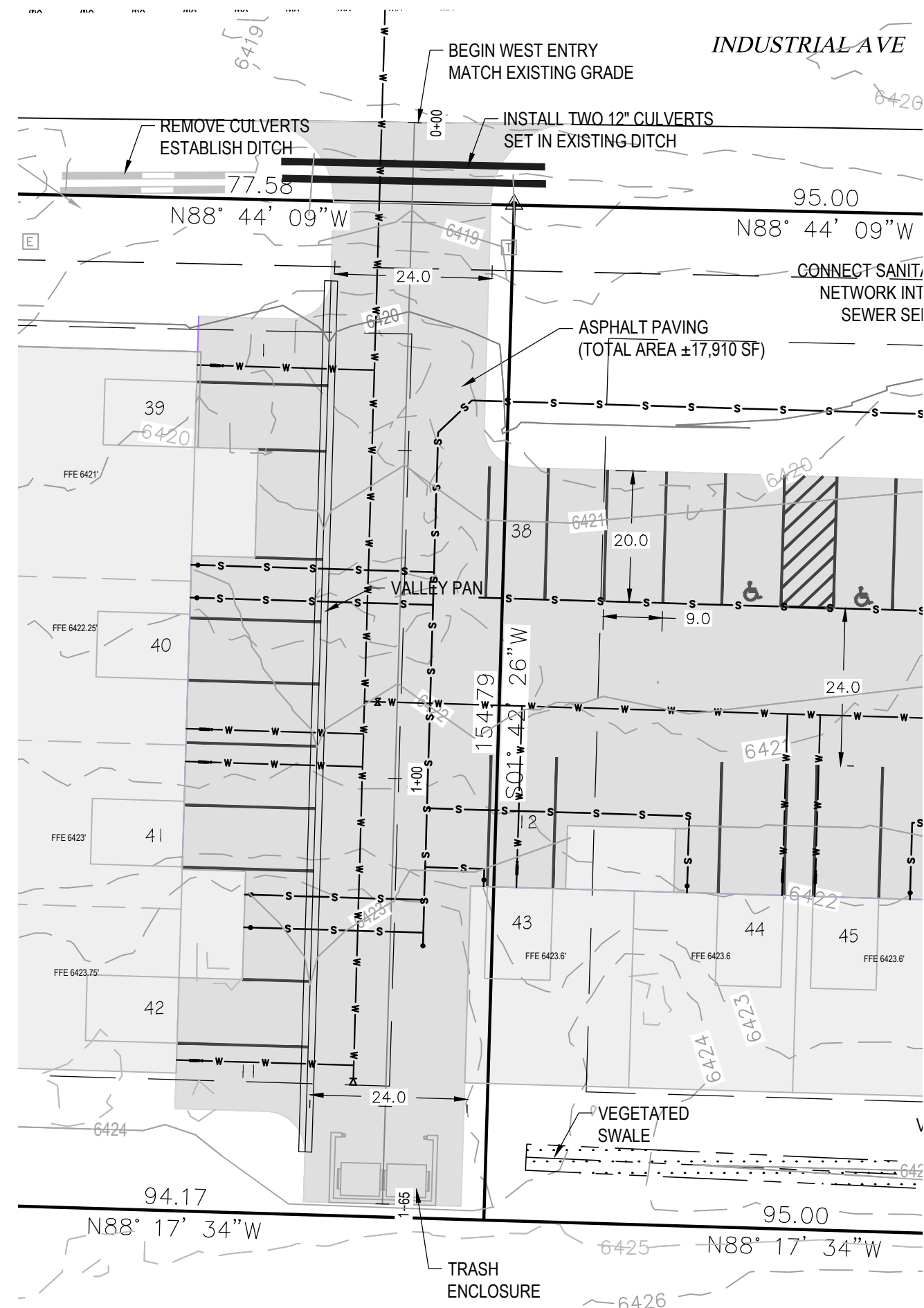
RIGHT OF WAY AND PAVING NOTES:

- WHEN CUTTING ASPHALT A STRAIGHT SAW CUT SHALL BE USED TO ACCESS UNDERGROUND UTILITIES. DURING ASPHALT OVERLAY A TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES, INCLUDING SAW CUTS, POTHOLES, TRENCHES AND ASPHALT OVERLAY. NO PLACEMENT OF FINAL LIFT OF ASPHALT IS ALLOWED UNTIL ALL UTILITIES HAVE BEEN RELOCATED, INSTALLED OR STUBBED INTO THE PROPERTY.
- ALL RIMS OF MANHOLES, VALVE COVERS, CLEANOUTS AND SURVEY MONUMENTS SHALL BE ADJUSTED TO FINISH GRADE OF THE FINAL LIFT OF ASPHALT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC SAFETY INCLUDING SIGNS, BARRICADES, FLAG PEOPLE, LIGHT AND OTHER NECESSARY DEVICES FOR SAFE TRAFFIC CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST VERSION.
- PAVING OF PUBLIC STREETS SHALL NOT START UNTIL SUB GRADE COMPACTION AND MATERIAL TESTS ARE TAKEN AND ACCEPTED BY THE PUBLIC WORKS DIRECTOR.
- PRIOR TO ANY WORK IN THE CITY RIGHT OF WAY, INCLUDING STREET CUTS, CONTACT THE CITY OF STEAMBOAT SPRINGS STREET DEPARTMENT AT 970-879-1807 FOR PERMIT REQUIREMENTS. NOT WORK SHALL OCCUR IN THE RIGHT OF WAY BETWEEN NOVEMBER 1 - APRIL 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY THE CITY PUBLIC WORKS DIRECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) AND OBTAINING ANY REQUIRED PERMITS OR APPROVALS FOR WORK ON OR ADJACENT TO CDOT ROW.

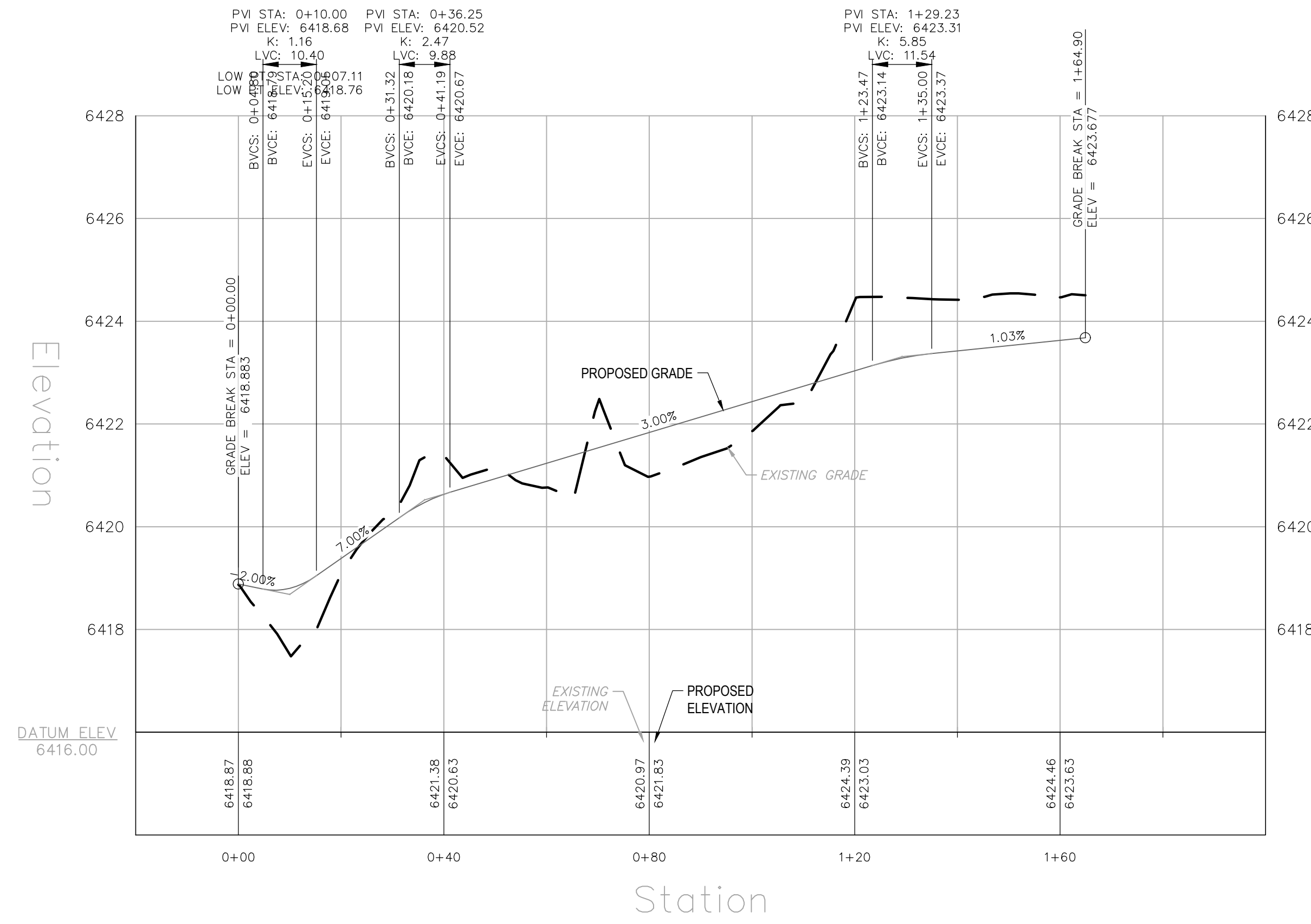
PARKING

OUTDOOR PARKING SPACES (INCLUDES TWO VAN-ACCESSIBLE HANDICAP PARKING SPACES)	= 38
GARAGE PARKING SPACES	= 12
TOTAL	= 50

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN 10 YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.



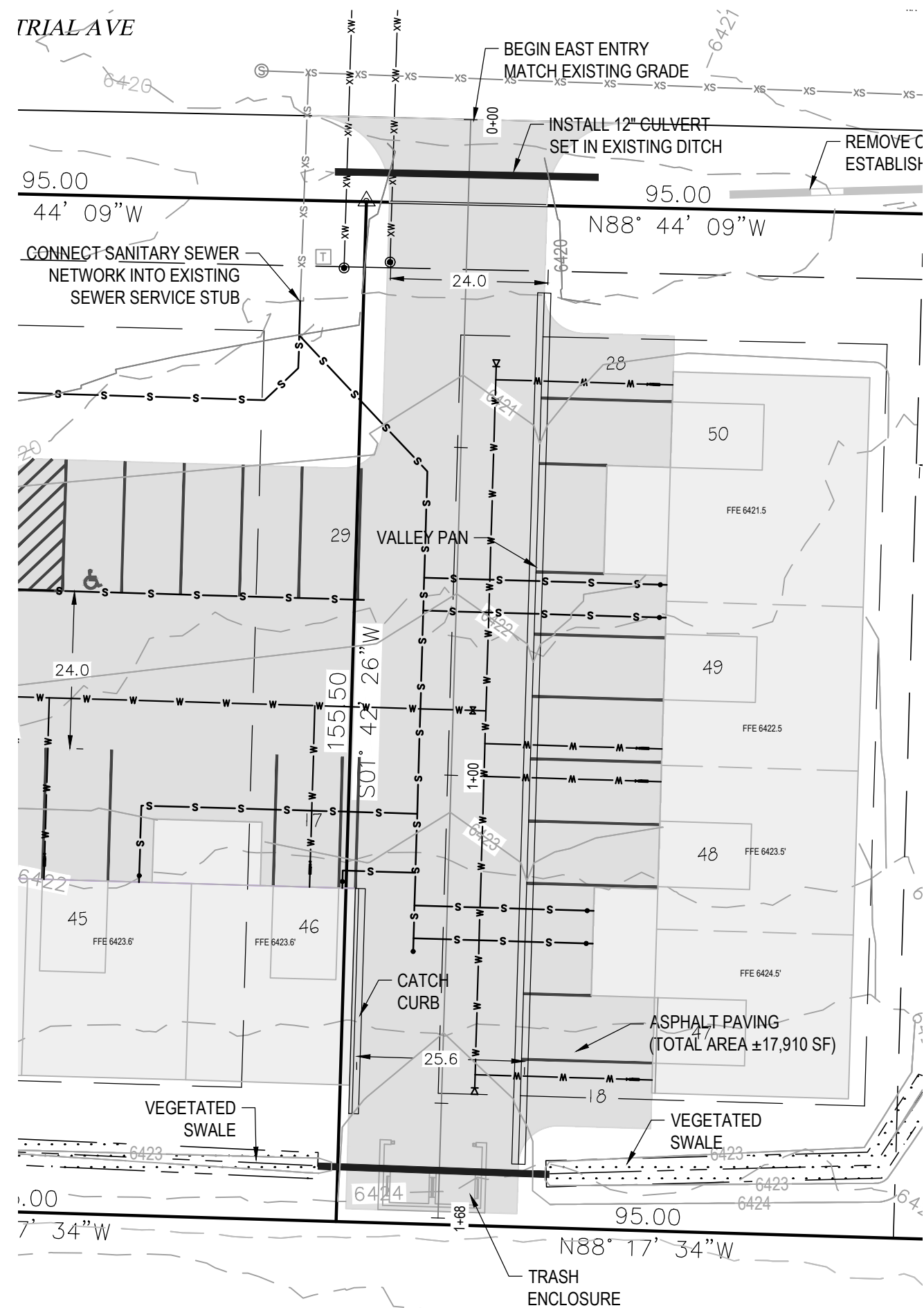
WEST ENTRY PLAN
SCALE: 1" = 20'



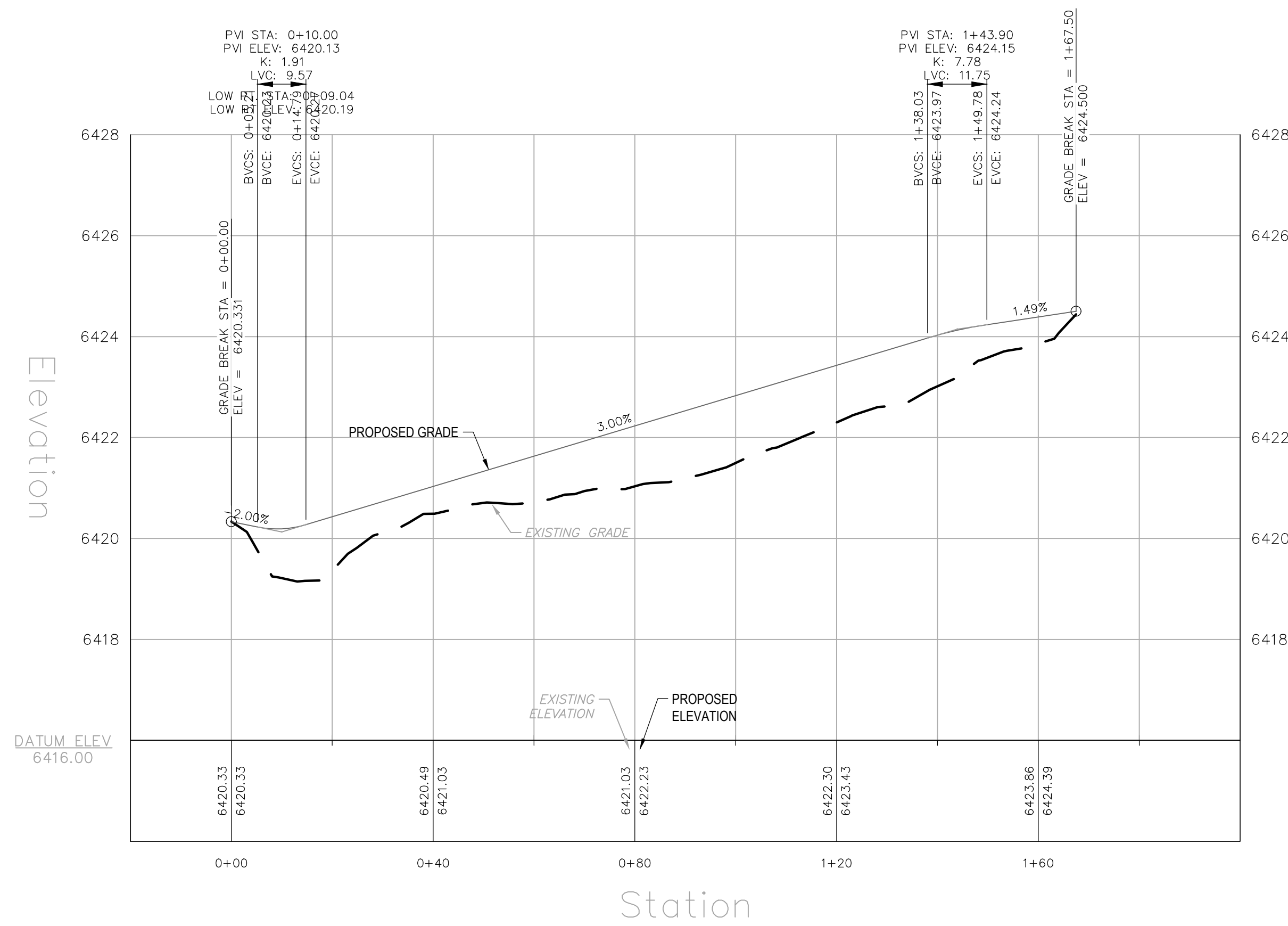
WEST ENTRY PROFILE
SCALE: (HORIZONTAL) 1" = 20'
(VERTICAL) 1" = 2'

WEST AND EAST ENTRY - PLAN & PROFILE
LOTS 14-16, VALLEY VIEW BUSINESS PARK
LOCATED IN THE SE 1/4 OF SECTION 10, TOWNSHIP 6 NORTH,
RANGE 88 WEST OF THE 6TH P.M., HAYDEN, ROUTT COUNTY,
COLORADO

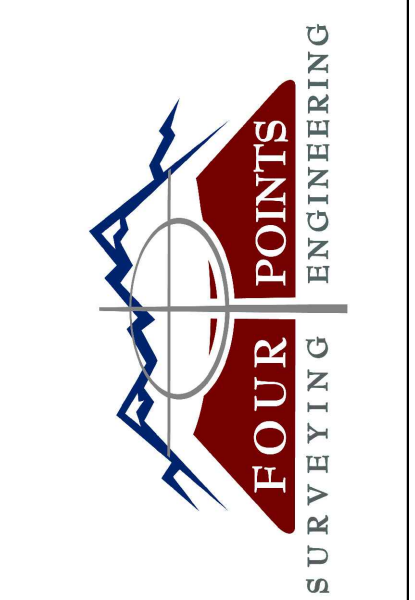
LEGEND	
[Symbol]	PROPERTY BOUNDARY
[Symbol]	ADJACENT PROPERTY BOUNDARY
[Symbol]	EXISTING EASEMENT
[Symbol]	BUILDING SETBACKS
[Symbol]	EXISTING EDGE OF ASPHALT
[Symbol]	EXISTING 1' CONTOUR
[Symbol]	EXISTING 5' CONTOUR
[Symbol]	PROPOSED 1' CONTOUR
[Symbol]	PROPOSED 5' CONTOUR
[Symbol]	EXISTING DRAINAGE DITCH
[Symbol]	PROPOSED DRAINAGE DITCH
[Symbol]	EXISTING STORM SEWER
[Symbol]	PROPOSED STORM SEWER
[Symbol]	EXISTING SEWER MAIN
[Symbol]	PROPOSED SEWER SERVICE
[Symbol]	EXISTING WATER MAIN
[Symbol]	PROPOSED WATER SERVICE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED ASPHALT PAVING
[Symbol]	PROPOSED PARKING STRIPING
[Symbol]	PROPOSED CONCRETE PAVING
[Symbol]	PROPOSED BUILDING FOOTPRINT
[Symbol]	SNOW STORAGE
[Symbol]	EXISTING LABEL
[Symbol]	PROPOSED LABEL



EAST ENTRY PLAN
SCALE: 1" = 20'



EAST ENTRY PROFILE
SCALE: (HORIZONTAL) 1" = 20'
(VERTICAL) 1" = 2'



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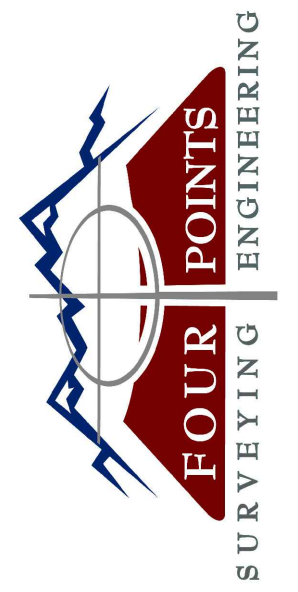
No.	DATE	REVISIONS	INT
1	1-15-24	RS	

LOTS 14-16 VALLEY VIEW BUSINESS PARK
INDUSTRIAL AVE
HAYDEN, CO 81639

HORIZONTAL SCALE
0 20' 40'
SCALE: 1" = 20'
CONTOUR INTERVAL = 1 ft
DATE: 1-15-2024
JOB #: 2278-001
DRAWN BY: RS
DESIGN BY: MDM, RS
REVIEW BY: FPSE

WEST AND EAST ENTRY
PLAN & PROFILE

DRAWING:
SHEET NO.
C4



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				RS
1	1-15-24			

LOTS 14-16 VALLEY VIEW BUSINESS PARK
INDUSTRIAL AVE
HAYDEN, CO 81639

HORIZONTAL SCALE

SCALE: 1" = 20'
 CONTOUR INTERVAL = 1 ft

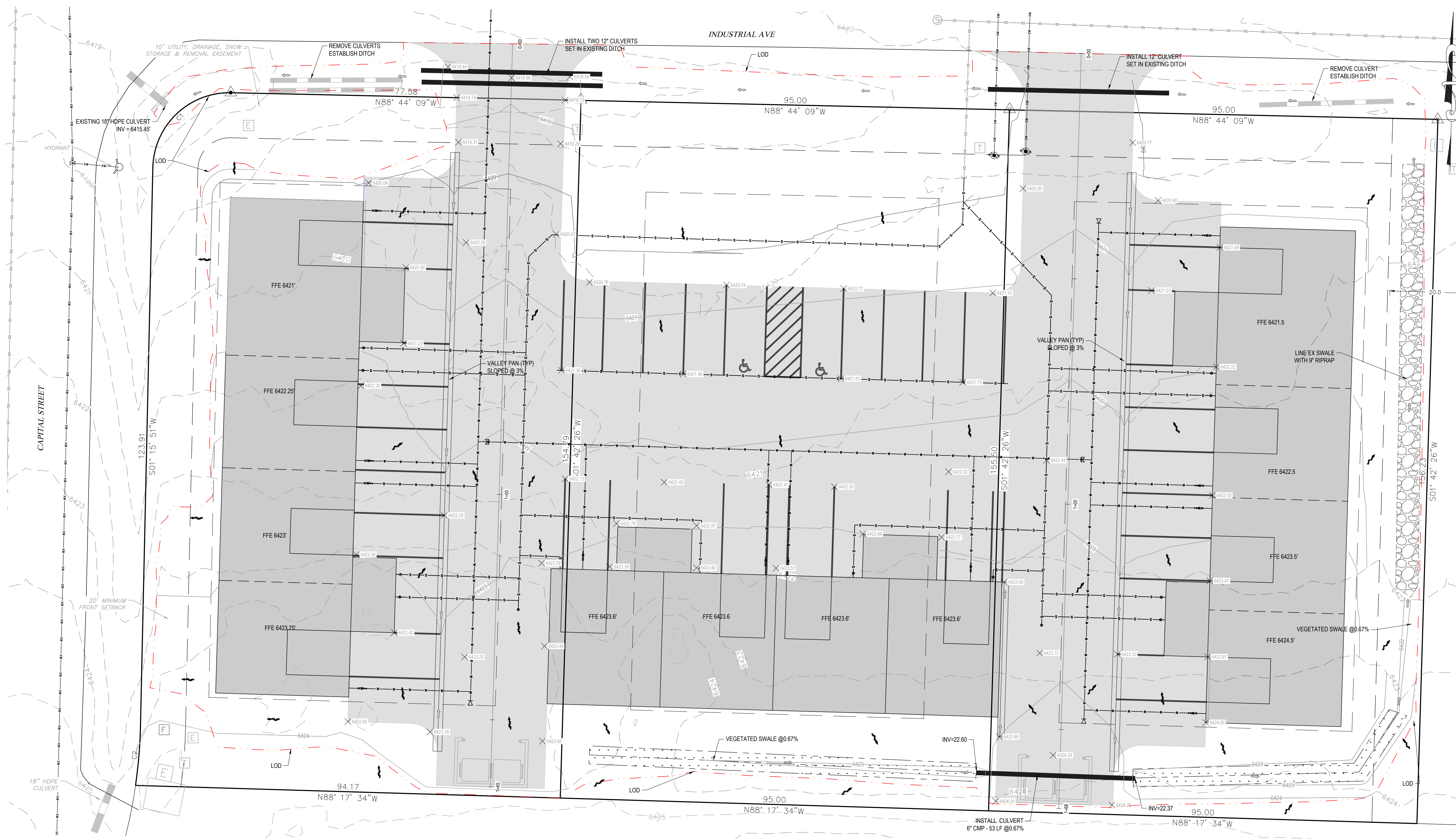
DATE: 1-15-2024
 JOB #: 2278-001
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 DESIGN BY: MDM, RS
 REVIEW BY: FPSE

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GRADING AND DRAINAGE PLAN

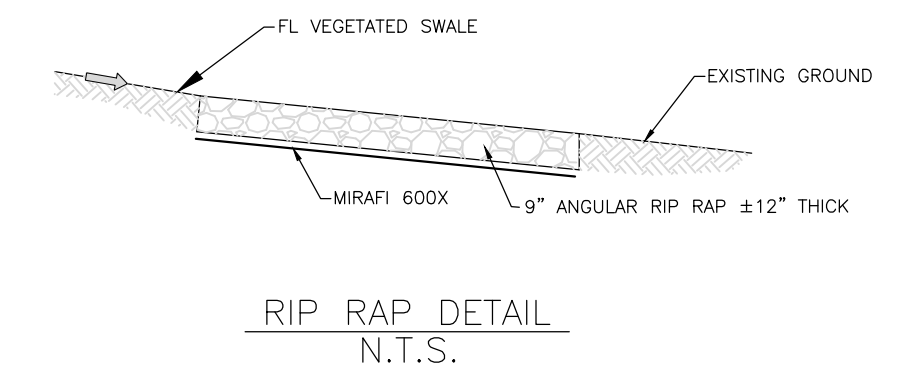
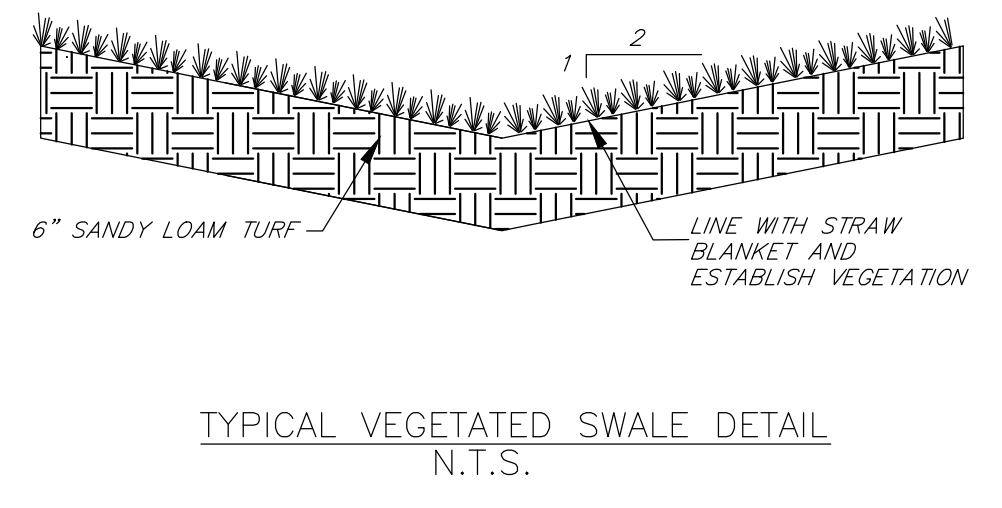
DRAWING: **C5**

SHEET NO.



GRADING LEGEND:

- DEVELOPED SLOPE: 1.0% 4:1
- CONCENTRATED FLOW ARROW: [Symbol]
- DESIGNED OVERLAND FLOW ARROW: [Symbol]
- EXISTING OVERLAND FLOW ARROW: [Symbol]
- LIMIT OF DISTURBANCE (LOD): [Symbol]
- ROOF DRAIN CONNECTION (6" PVC): [Symbol]
- NYLOPLAST COMBINED 2X3 CURB & GUTTER INLET: [Symbol]
- NYLOPLAST AREA INLET: [Symbol]
- NYLOPLAST STORM MANHOLE: [Symbol]
- STORM SEWER: [Symbol]
- INFILTRATION BASIN: [Symbol]



ABBREVIATIONS:

BOW	BOTTOM OF WALL
BLDG	BUILDING
CL	CENTERLINE
CMU	CONCRETE MASONRY UNITS
CO	CLEAN OUT
CONC	CONCRETE
ELEV	ELEVATION
EOC	EDGE OF CONCRETE
EOG	EDGE OF GRAVEL
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
FND	FOUNDATION
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
PR	PROPOSED
SF	SQUARE FEET
SS	SNOW STORAGE
TOW	TOP OF WALL
TYP	TYPICAL

PROJECT TOTAL EARTHWORK QUANTITIES:

AREA OF DISTURBANCE:	23.414	SQ. FT.
TOPSOIL STRIPPING:	434	CU. YDS.
TOTAL CUT:	122	CU. YDS.
TOTAL FILL:	568	CU. YDS.
NET (FILL):	446	CU. YDS.

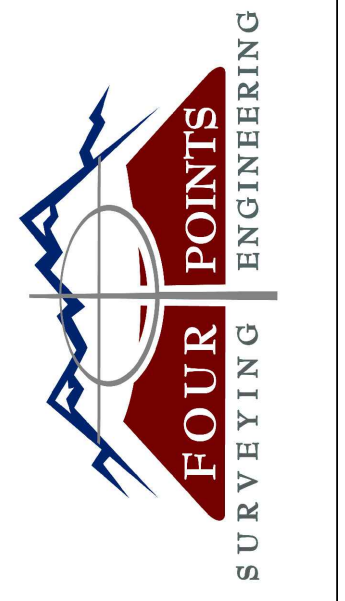
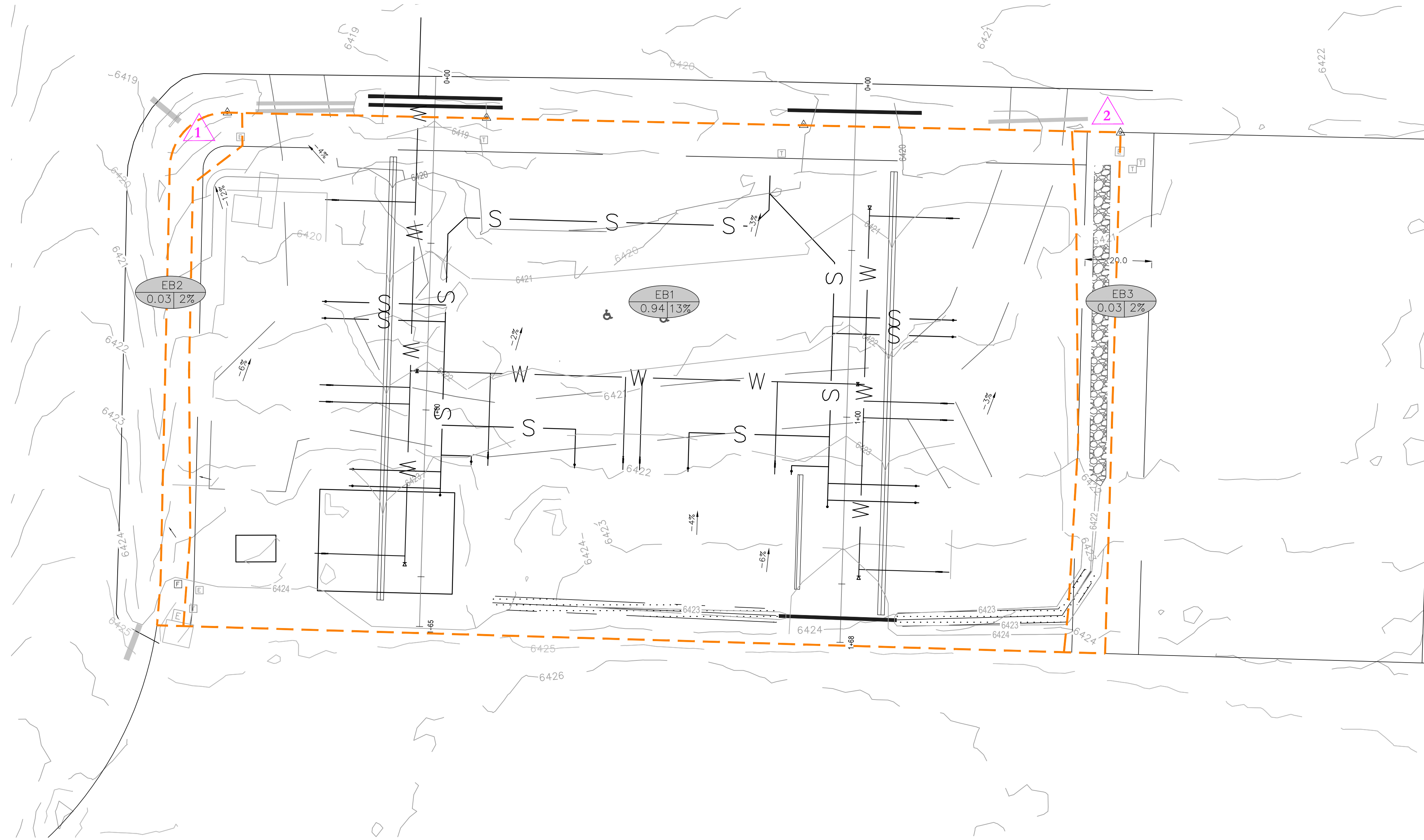
NOTES:

- TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 0.5 FEET PER THE GEO-TECHNICAL REPORT. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE ENTIRE AREA OF DISTURBANCE.
- THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
- A FILL FACTOR OF 1.10 WAS USED FOR CUT-FILL VOLUME CALCULATIONS.
- FILL VOLUME INCLUDES NATIVE MATERIAL AND ALL IMPORT MATERIALS. (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)

- GRADING:**
- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
 - VEGETATED SLOPES GREATER THAN 3:1 REQUIRE SOIL STABILIZATION.
- EROSION CONTROL:**
- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
 - ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.



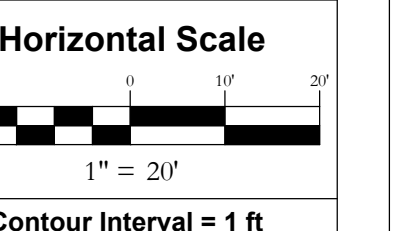
- DRAINAGE PLAN LEGEND**
- 1' CONTOUR
 - 5' CONTOUR
 - - - DELINEATED BASIN BOUNDARY
 - ~ FLOW PATH, SHEET FLOW/OVERLAND FLOW
 - CONCENTRATED FLOW
 - DITCH/SWALE/VALLEY PAN CENTERLINE
 - △ 1 DESIGN POINT DESIGNATION
 - A
B C A: BASIN DESIGNATION
B: BASIN AREA (ACRES)
C: % IMPERVIOUS



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LOTS 14-16 VALLEY VIEW BUSINESS PARK
HAYDEN, CO 81639

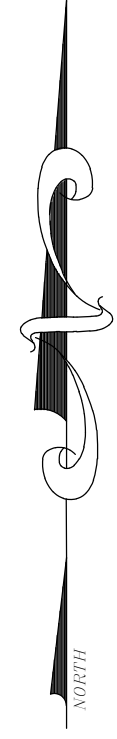


Contour Interval = 1 ft
DATE: 1-15-2024
JOB #: 2278-001
DRAWN BY: MDM/RS
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REVIEW BY: FPSE

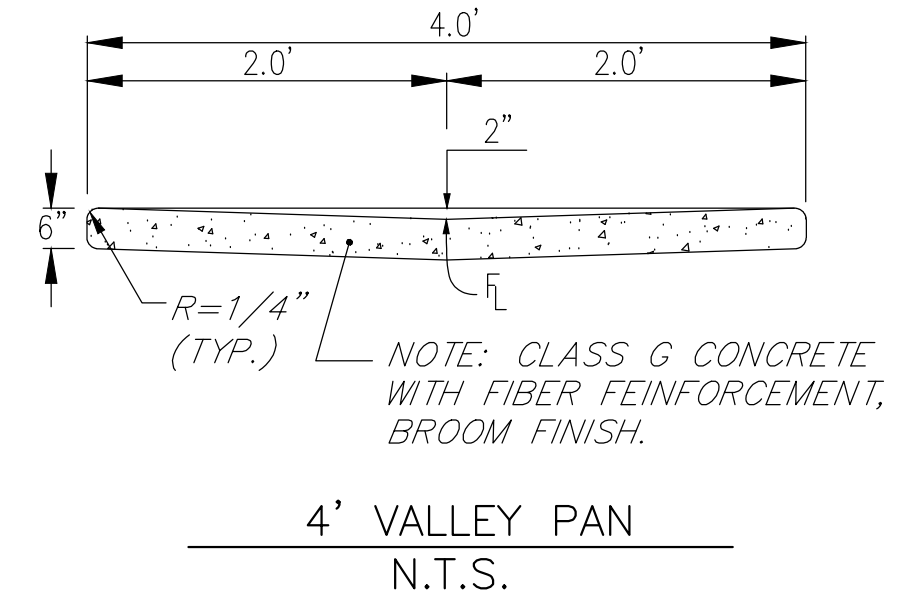
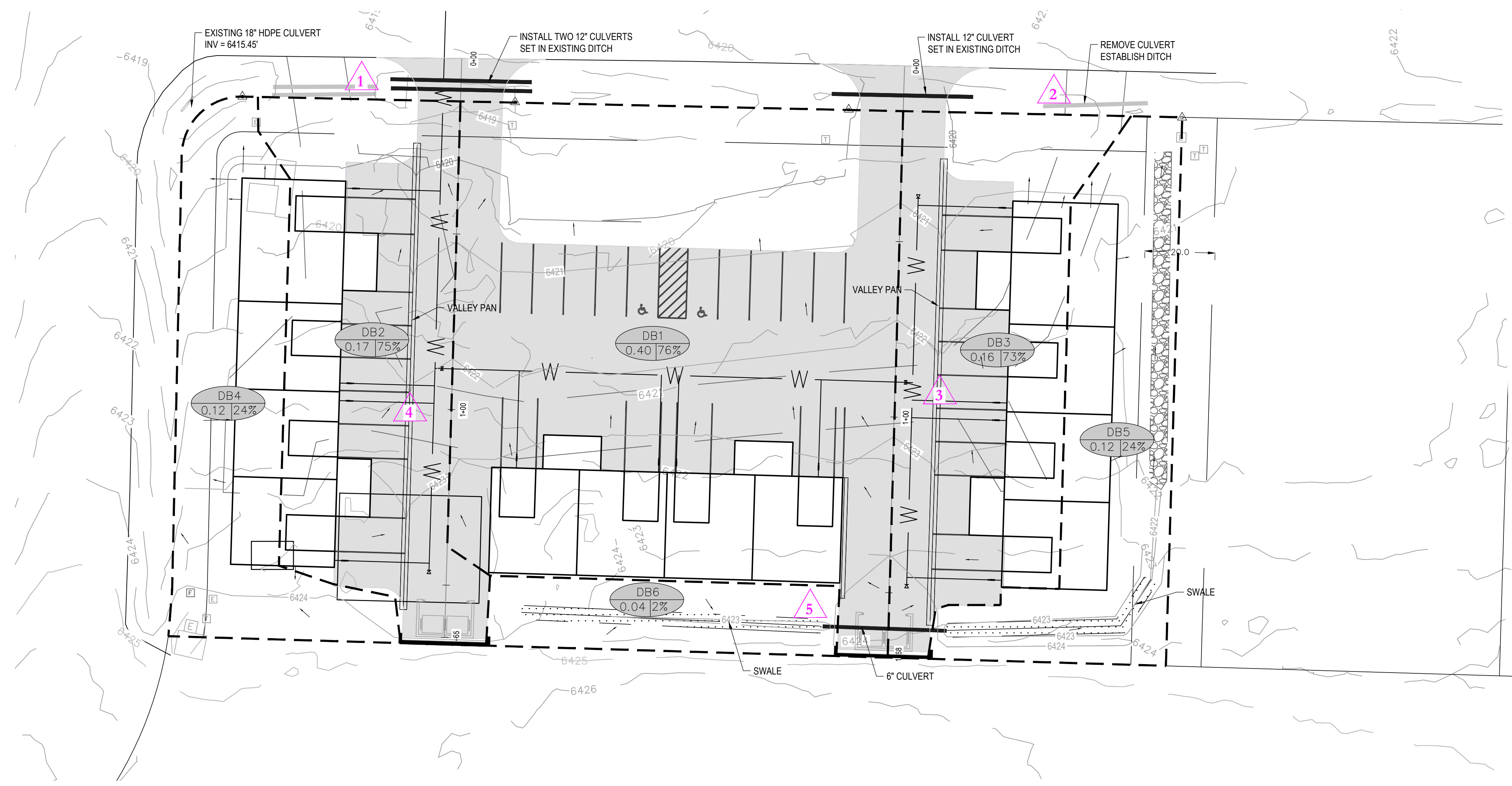
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

EXISTING DRAINAGE

DRAWING: SHEET # **DR1**



- DRAINAGE PLAN LEGEND**
- 1' CONTOUR
 - 5' CONTOUR
 - - - DELINEATED SUBBASIN BOUNDARY
 - ~ FLOW PATH, SHEET FLOW/OVERLAND FLOW
 - CONCENTRATED FLOW
 - DITCH/SWALE/VALLEY PAN CENTERLINE
 - △ 1 DESIGN POINT DESIGNATION
 - A
B C A: BASIN DESIGNATION
B: BASIN AREA (ACRES)
C: % IMPERVIOUS



NOTES:

SEE DRAINAGE REPORT FOR SUMMARY AND CALCULATIONS. DB4 RECEIVES 50% OF THE DRAINAGE FROM THE WESTERLY BUILDING; THE REMAINING 50% OF BUILDING IS RECEIVED BY DB2. DB5 RECEIVES 50% OF THE DRAINAGE FROM THE EASTERLY BUILDING; THE REMAINING 50% OF BUILDING IS RECEIVED BY DB3. ALL OF THE DRAINAGE FROM THE SOUTHERLY BUILDING IS RECEIVED BY DB1.

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1	1-15-24		

LOTS 14-16 VALLEY VIEW BUSINESS PARK
TBD COMMERCE ST
HAYDEN, CO 81639

Horizontal Scale

1" = 20'

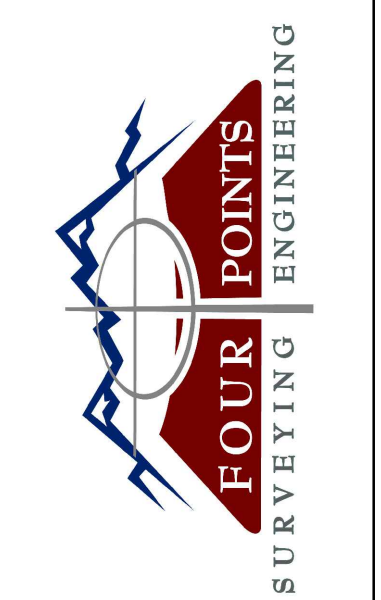
Contour Interval = 1 ft

DATE: 1-15-2024
JOB #: 2278-001
DRAWN BY: MDM/RS
DESIGN BY: MDM/RS
REVIEW BY: FPSE

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DRAWING: **PROPOSED DRAINAGE**

SHEET # **DR2**



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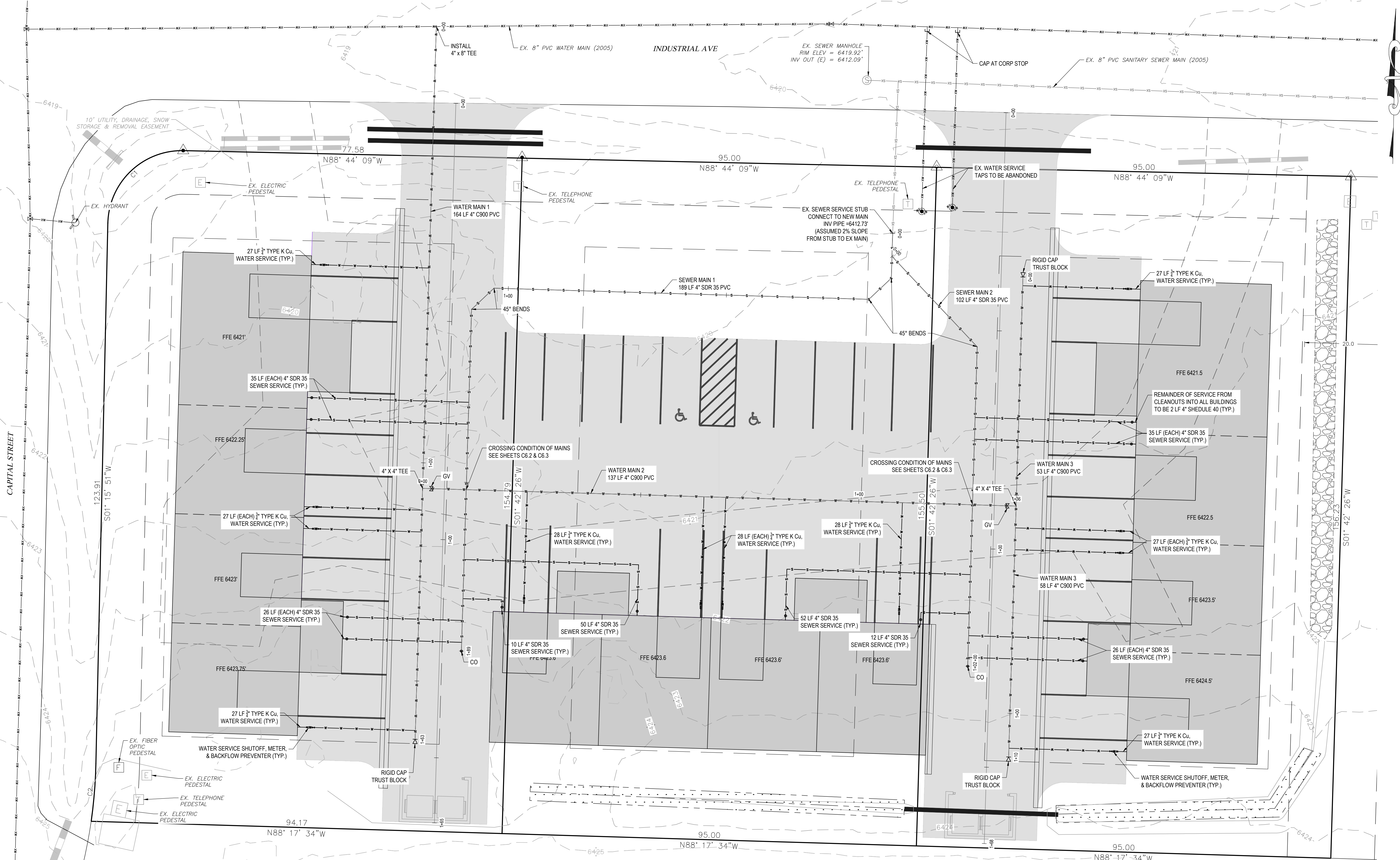
No.	DATE	REVISIONS
1	1-15-24	RS

LOTS 14-16 VALLEY VIEW BUSINESS PARK
INDUSTRIAL AVE
HAYDEN, CO 81639

HORIZONTAL SCALE
 0 20' 40'
 SCALE: 1" = 20'
 CONTOUR INTERVAL = 1 ft
 DATE: 1-15-2024
 JOB #: 2278-001
 DRAWN BY: RS
 DESIGN BY: MDM, RS
 REVIEW BY: FPSE

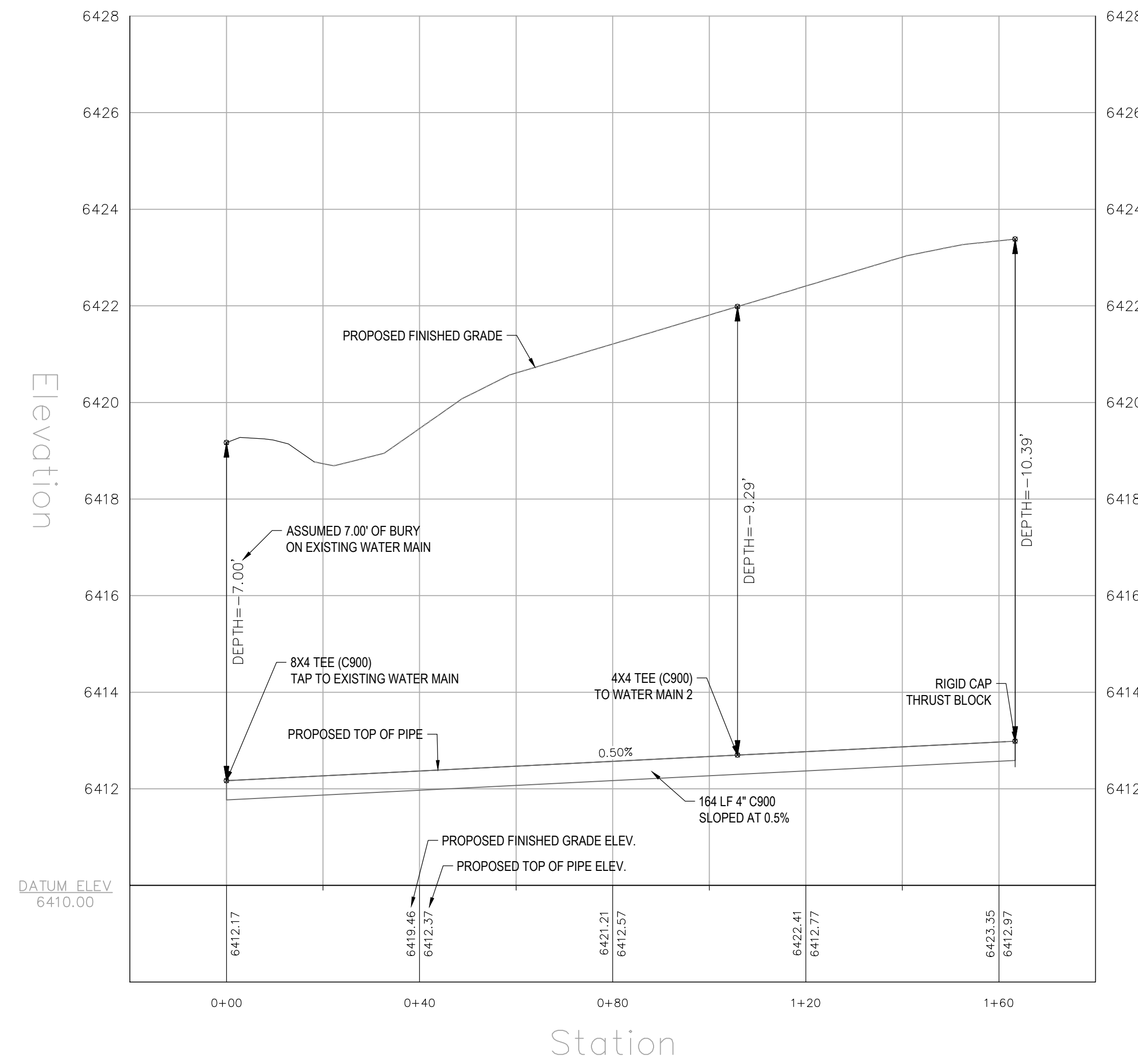
UTILITY PLAN

DRAWING:
 SHEET NO.
C6.1

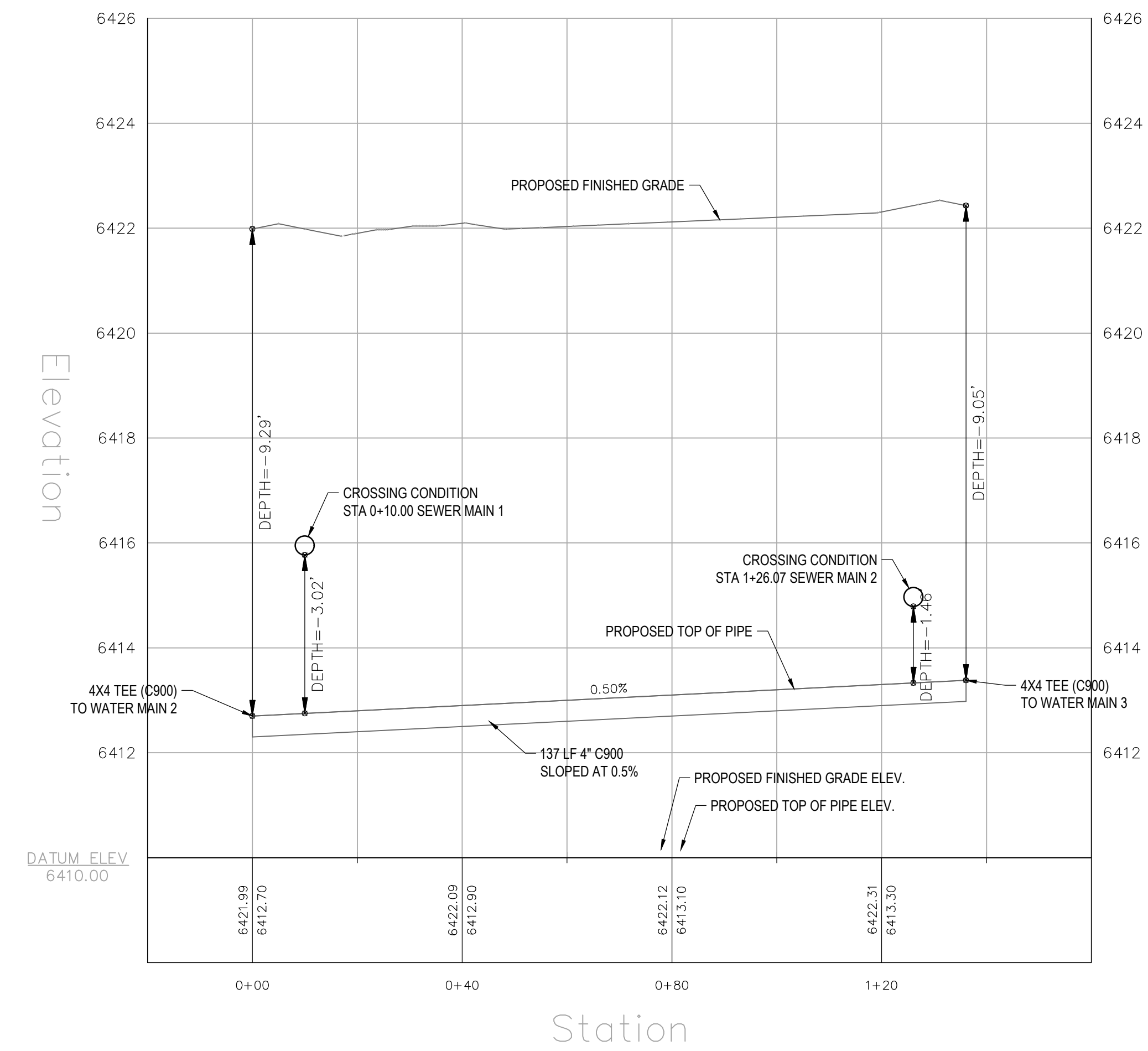


- WATER, SEWER AND UTILITY NOTES:**
- EXISTING DRY UTILITY LOCATIONS AND WATER AND SEWER SERVICES WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLES.
 - MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS FIVE (5') FEET.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF HAYDEN DEVELOPMENT CODE.
 - MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7') FEET UNLESS OTHERWISE NOTED. ALL WATER SERVICE LINES SHALL BE TYPE "K" COPPER AND SEAMLESS BETWEEN FITTINGS.
 - SEWER SERVICES ARE ANTICIPATED TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2%, UNLESS NOTED OTHERWISE. FINAL 2 LF OF SERVICE BETWEEN EACH UNIT AND ASSOCIATED CLEANOUT IS TO BE CONSTRUCTED WITH 4" SCHEDULE 40, AS THROUGHOUT EACH UNIT INTERNALLY.

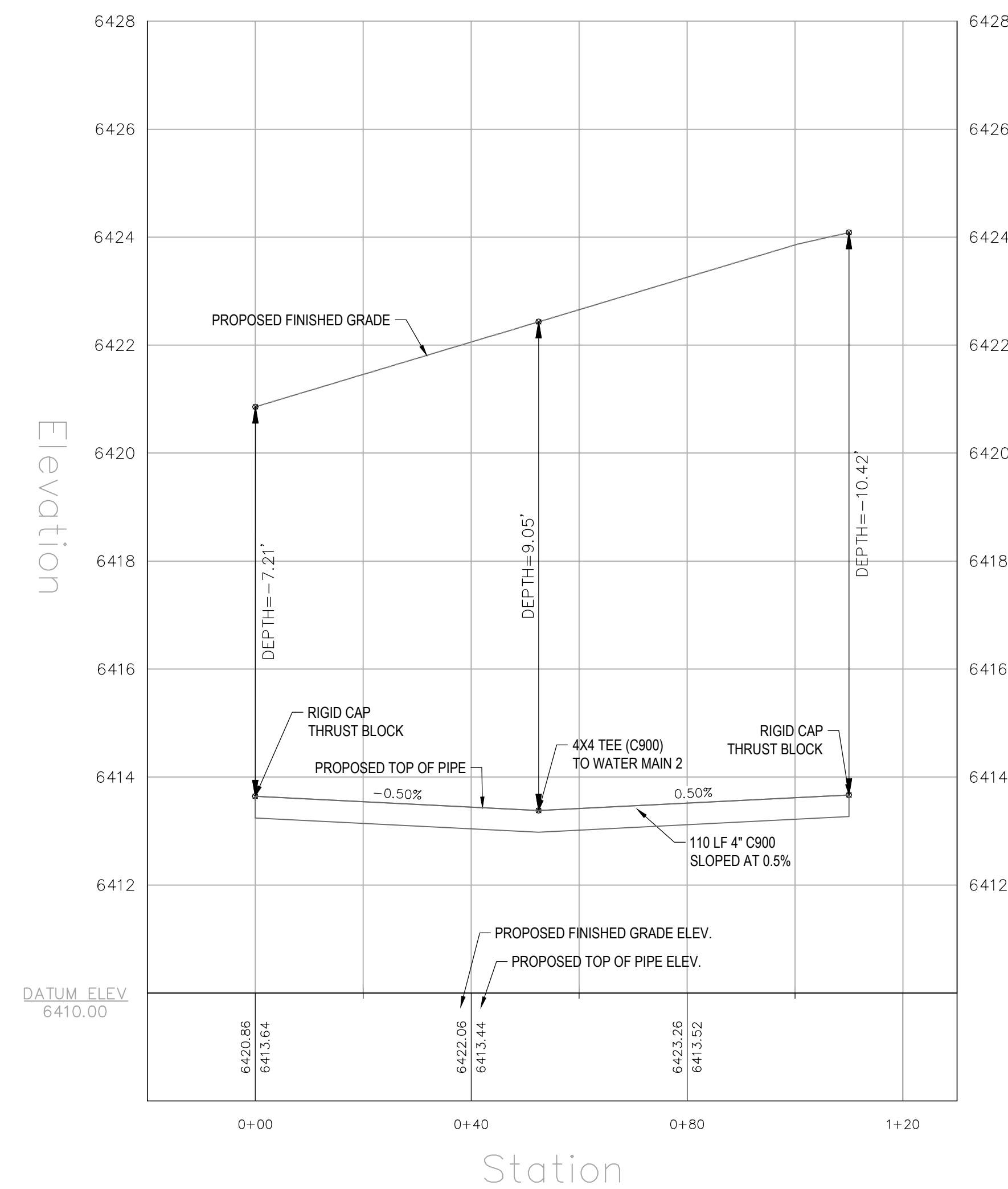
WATER MAIN 1



WATER MAIN 2



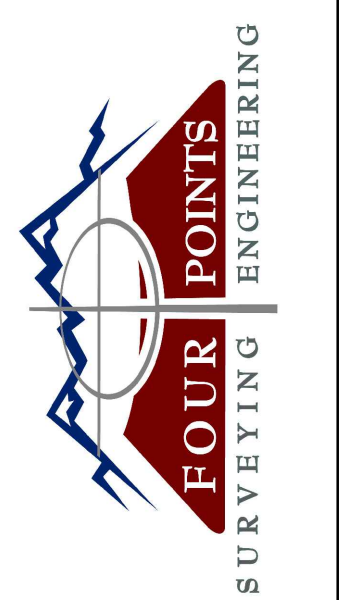
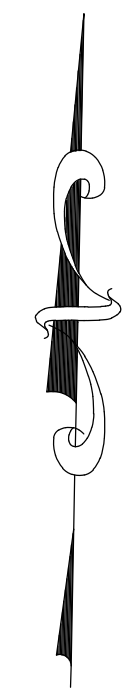
WATER MAIN 3



PROFILE VIEW SCALES
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 2'

NOTES:

FOR CROSSING CONDITIONS, SEE DETAIL 9.1 AND 9.2 ON SHEET C8.



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No.	DATE	REVISIONS	
		BY	REVISIONS
1	1-15-24		REDLINES

LOTS 14-16 VALLEY VIEW BUSINESS PARK
INDUSTRIAL AVE
HAYDEN, CO 81639

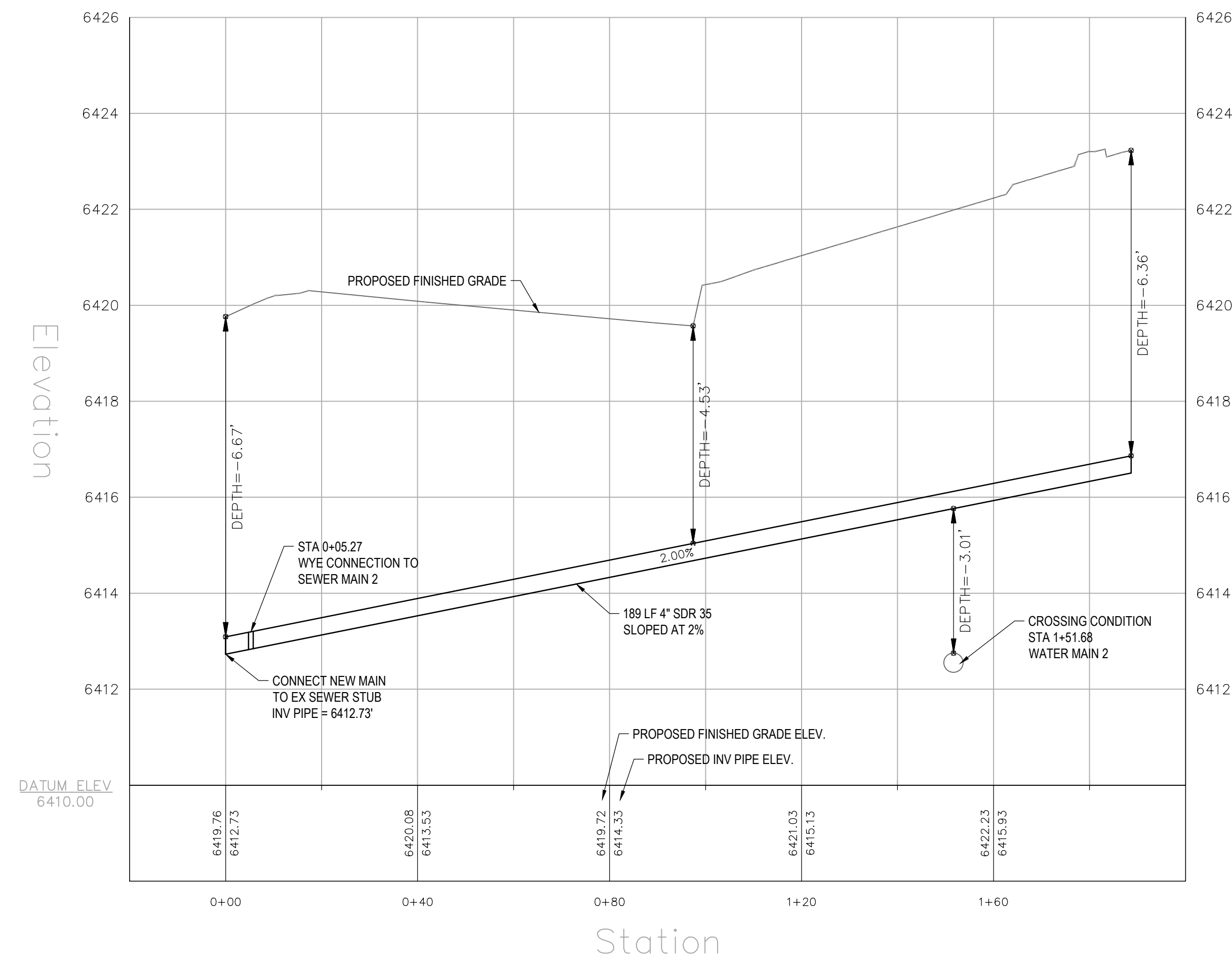
HORIZONTAL SCALE
 0 20' 40'
 SCALE: 1" = 20'
 CONTOUR INTERVAL = 1 ft
 DATE: 1-15-2024
 JOB #: 2278-001
 DRAWN BY: RS
 DESIGN BY: MDM, RS
 REVIEW BY: FPSE

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

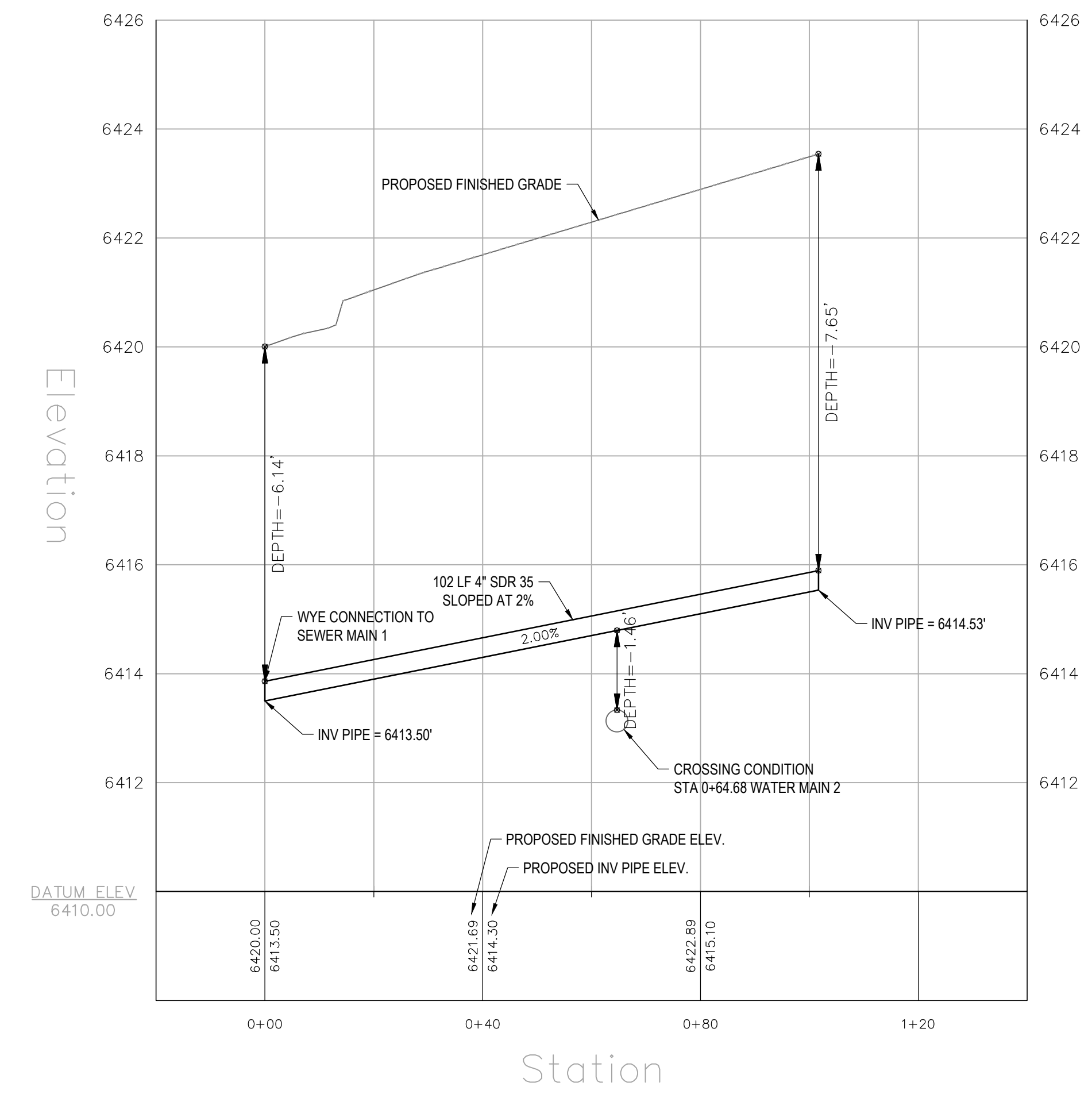
WATER MAIN PROFILES

DRAWING:
 SHEET NO.
C6.2

SANITARY SEWER MAIN 1



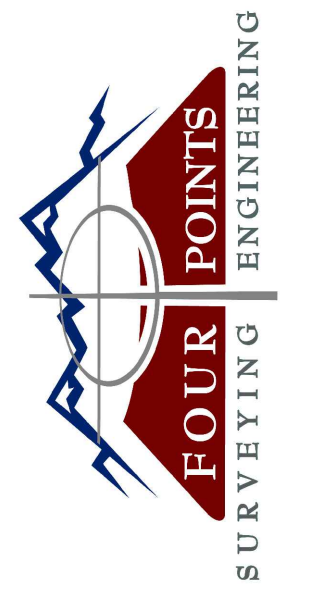
SANITARY SEWER MAIN 2



PROFILE VIEW SCALES
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 2'

NOTES:

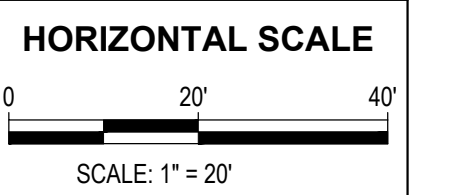
FOR CROSSING CONDITIONS, SEE DETAILS 9.1 AND 9.2 ON SHEET C8.



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No.	DATE	REVISIONS	
		BY	DESCRIPTION
1	1-15-24	RS	REDLINES

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INDUSTRIAL AVE
HAYDEN, CO 81639



CONTOUR INTERVAL = 1 ft
 DATE: 1-15-2024
 JOB #: 2278-001
 DRAWN BY: RS
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 REVIEW BY: FPSE

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SANITARY SEWER MAIN PROFILES

DRAWING:

SHEET NO.

C6.3

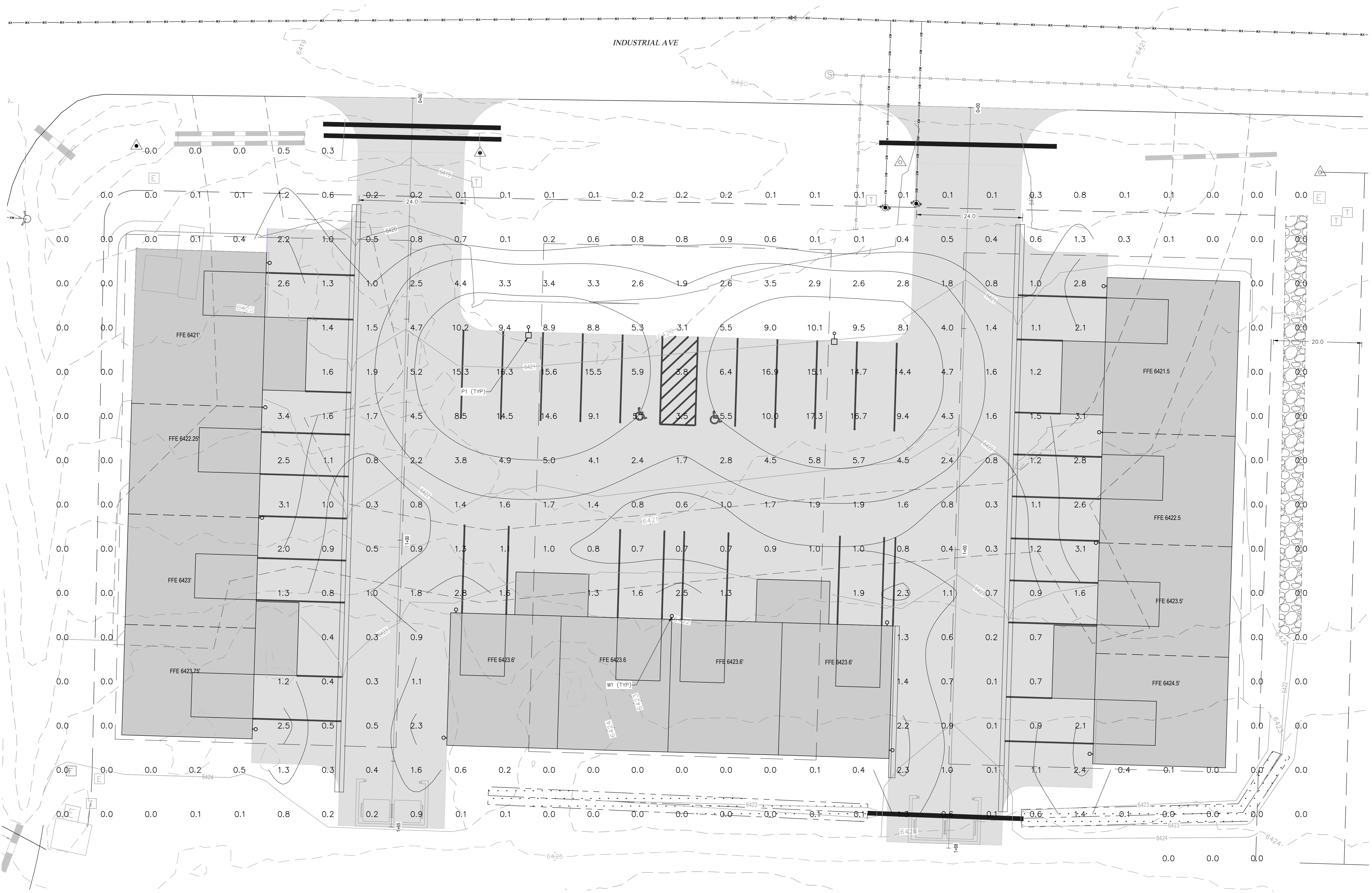
INT	RS	REVISIONS	REQUDES

No.	DATE
1	1-15-24

LOTS 14-16 VALLEY VIEW BUSINESS PARK
INDUSTRIAL AVE
HAYDEN, CO 81639

HORIZONTAL SCALE
0 10' 20'
SCALE: 1" = 10'
CONTOUR INTERVAL = 1 ft
DATE: 1-15-2024
JOB #: 2278-001
DRAWN BY: RS
DESIGN BY: MDM, RS
REVIEW BY: FPSE
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

LIGHTING PLAN



LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 1	QUANTITY
P1		(1) LED, LED	EALP01 EVOLVE LED AREA	ELECTRONIC	POLE	GE LIGHTING SOLUTIONS, EALP01-J3AW73 WITH ELS-EAL-WSS-BLCK	120V 1P 2W		2
W1		(1) LED,	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 3000K, 350mA.	ELECTRONIC	WALL	Lithonia Lighting, DSXW1 LED 10C 350 35K T2M MVOLT	120V 1P 2W	LED DRIVER.	13

LIGHTING NOTES:
1) ALL PROPOSED PARKING LOT LIGHT POSTS ARE 16 FEET TALL.
2) ANY LIGHTING SUBSTITUTION REQUIRES ENGINEER APPROVAL.
3) UNITS ARE IN FOOT-CANDLES

GENERAL NOTES

- ON CURVES 3 DEGREES OR SHARPER, CURBS AND/OR GUTTERS ARE TO BE PLACED ON THE ARC OF THE CURVE UNLESS OTHERWISE NOTED ON THE PLANS. A MAXIMUM CHORD LENGTH OF 10 FEET MAY BE USED WHEN THE DEGREE OF CURVE IS LESS THAN 3 DEGREES.
- CONCRETE SHALL BE CLASS B.
- PROFILE GRADE OF CURBS AND GUTTERS SHALL BE LOCATED AT THE FLOW LINE.
- GUTTER CROSS SLOPES SHALL BE 1/2 IN. / FT. WHEN DRAINING AWAY FROM CURB AND 1 IN. / FT. WHEN DRAINING TOWARDS CURB.
- CONCRETE SHALL CONTAIN 1.5 POUNDS PER CUBIC YARD APPROVED POLYPROPYLENE FIBERS AND HAVE A NOMINAL AGGREGATE SIZE OF 3/8 IN.

CURB, GUTTER, AND SIDEWALK NOTES

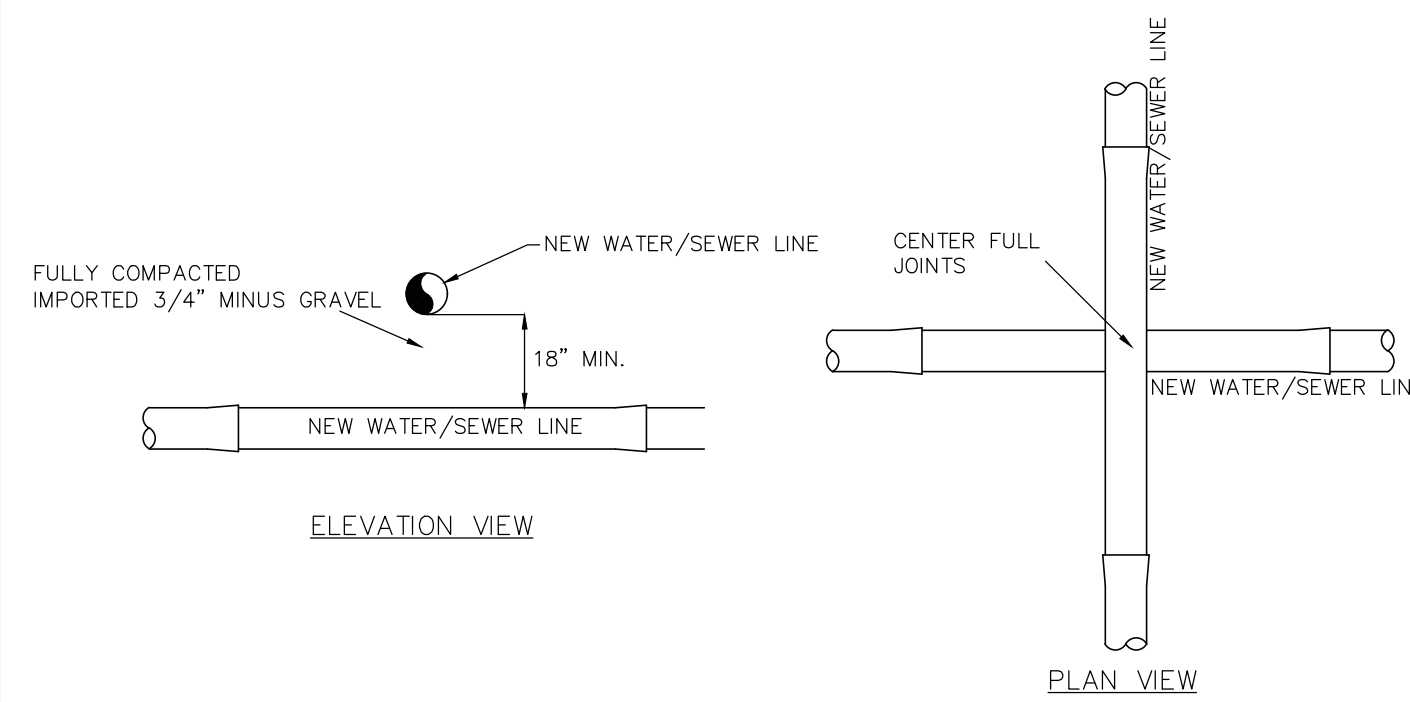
- CURBS AND/OR GUTTERS ARE TO BE PLACED ON THE ARC OF THE CURVE UNLESS OTHERWISE NOTED ON THE PLANS.
- CONCRETE SHALL BE CLASS D WITH FIBER REINFORCEMENT.
- CONTROL JOINTS SHALL BE PLACED AT AN INTERVAL EQUAL TO THE SIDEWALK WIDTH.
- CURBS, GUTTERS AND SIDEWALKS SHALL BE BROOM FINISHED.

STORM SEWER NOTES

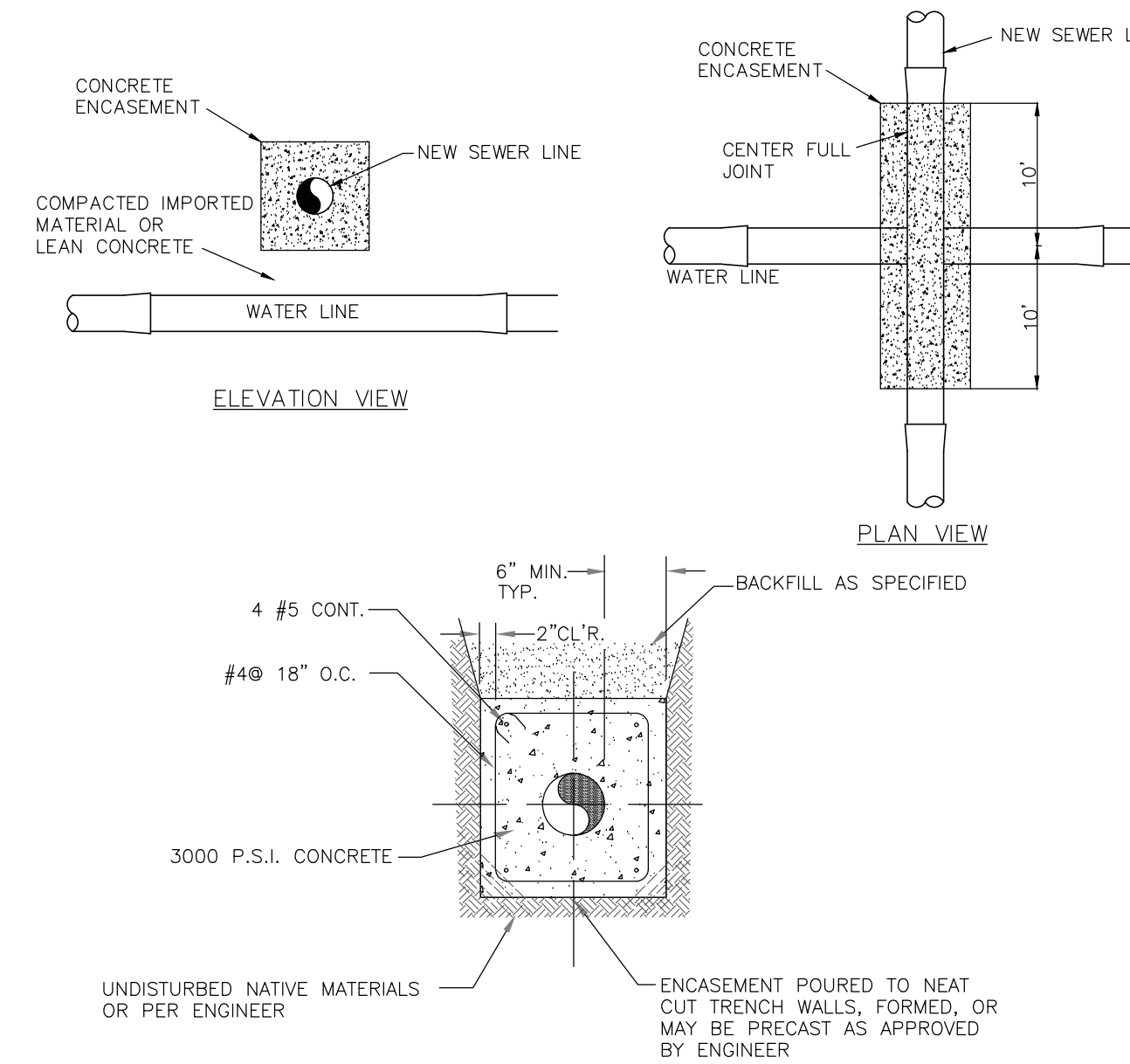
- ADEQUATE COVER SHALL BE PROVIDED DURING CONSTRUCTION TO PROTECT THE STRUCTURE FROM DAMAGE.
- PIPE SHALL BE PLACED WITH LONGITUDINAL SEAMS AT THE SIDES OR QUARTER POINTS BUT NOT ALONG TOP OF VERTICAL AXIS.
- STRUCTURAL PLATE PIPES OF EQUAL OR GREATER DIAMETER, CONFORMING TO THE SPECIFICATIONS, MAY BE USED WITH PERMISSION OF THE ENGINEER.
- WHEN A CULVERT IS TO BE EXTENDED WITH PIPE OF A DIFFERENT MATERIAL, THE CONNECTION SHALL CONFORM TO THE DETAILS ON THE PLANS OR BE APPROVED.
- EXTENSIONS FOR CSP ARCH CULVERT SHALL MATCH THE CORRUGATIONS AND THE SPAN AND RISE DIMENSIONS OF THE CULVERT TO BE EXTENDED.
- MINIMUM COVER FOR METAL AND PLASTIC PIPE IS THE DISTANCE FROM THE TOP OF THE PIPE TO THE TOP OF RIGID PAVEMENT OR TO THE TOP OF SUBGRADE FOR FLEXIBLE PAVEMENT.
- ALL FOUNDATION, BEDDING AND BACKFILL SHALL BE COMPACTED TO NO LESS THAN 90% DENSITY AND WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT OF THE MODIFIED PROCTOR.
- ADDITIONAL TRENCH EXCAVATION OR MEASURES MAY BE REQUIRED FOR UNANTICIPATED SOIL CONDITIONS.
- LENGTHS ARE MEASURED HORIZONTALLY FROM END OF END SECTION TO END OF END SECTION OR CENTER OF MANHOLE.

NOTES:

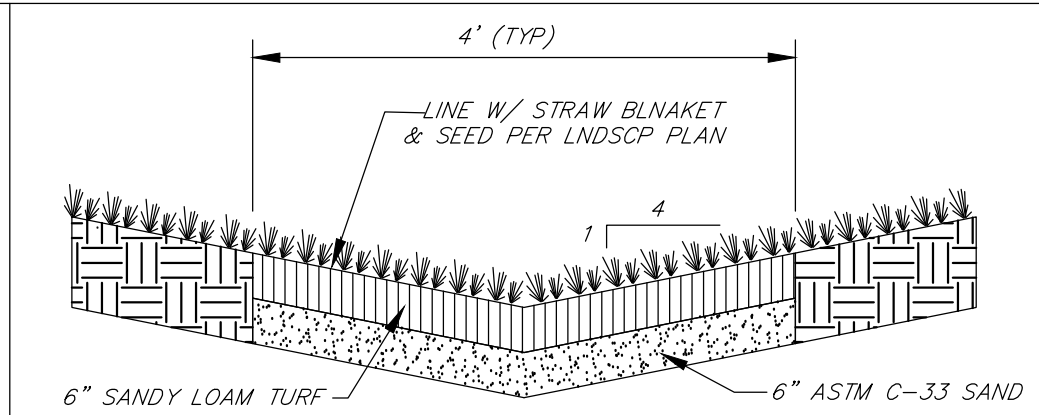
- CROSSING CONDITIONS APPLY TO ALL MAIN AND SERVICE LINES
- THE CITY SHALL APPROVE CROSSINGS LESS THAN 18 INCHES ON A CASE BY CASE BASIS



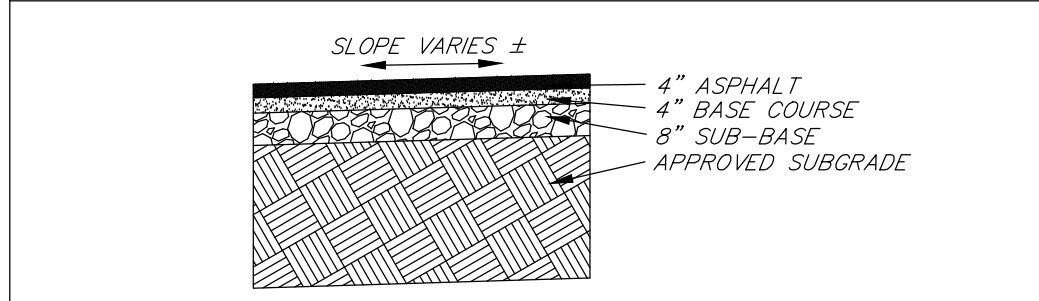
9.1 CROSSING CONDITION - MIN. 18" OF SEPARATION BETWEEN SEWER AND WATER
N.T.S.



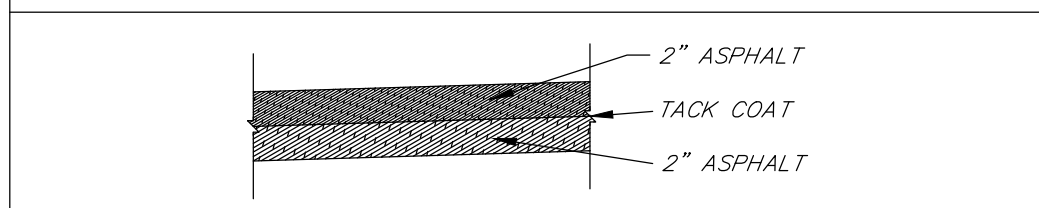
9.2 CROSSING CONDITION - <18" OF SEPARATION BETWEEN SEWER AND WATER
N.T.S.



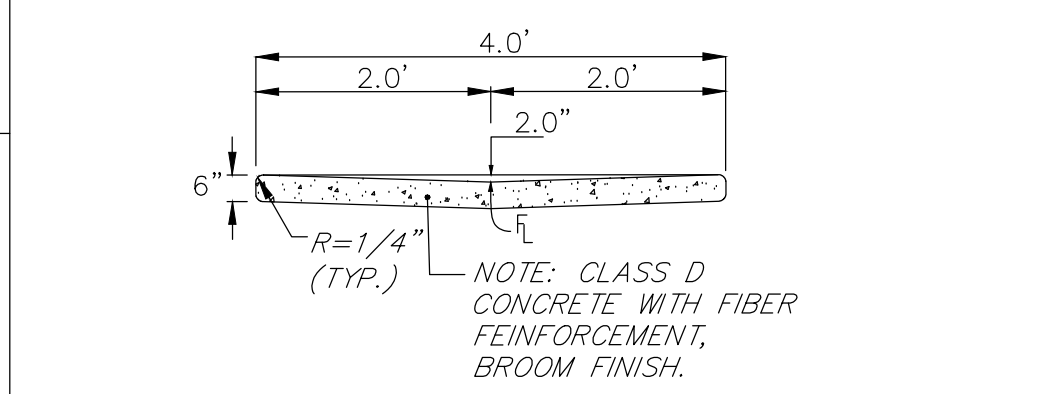
13 DRAINAGE SWALES (GRASS & COBBLE LINED)
N.T.S.



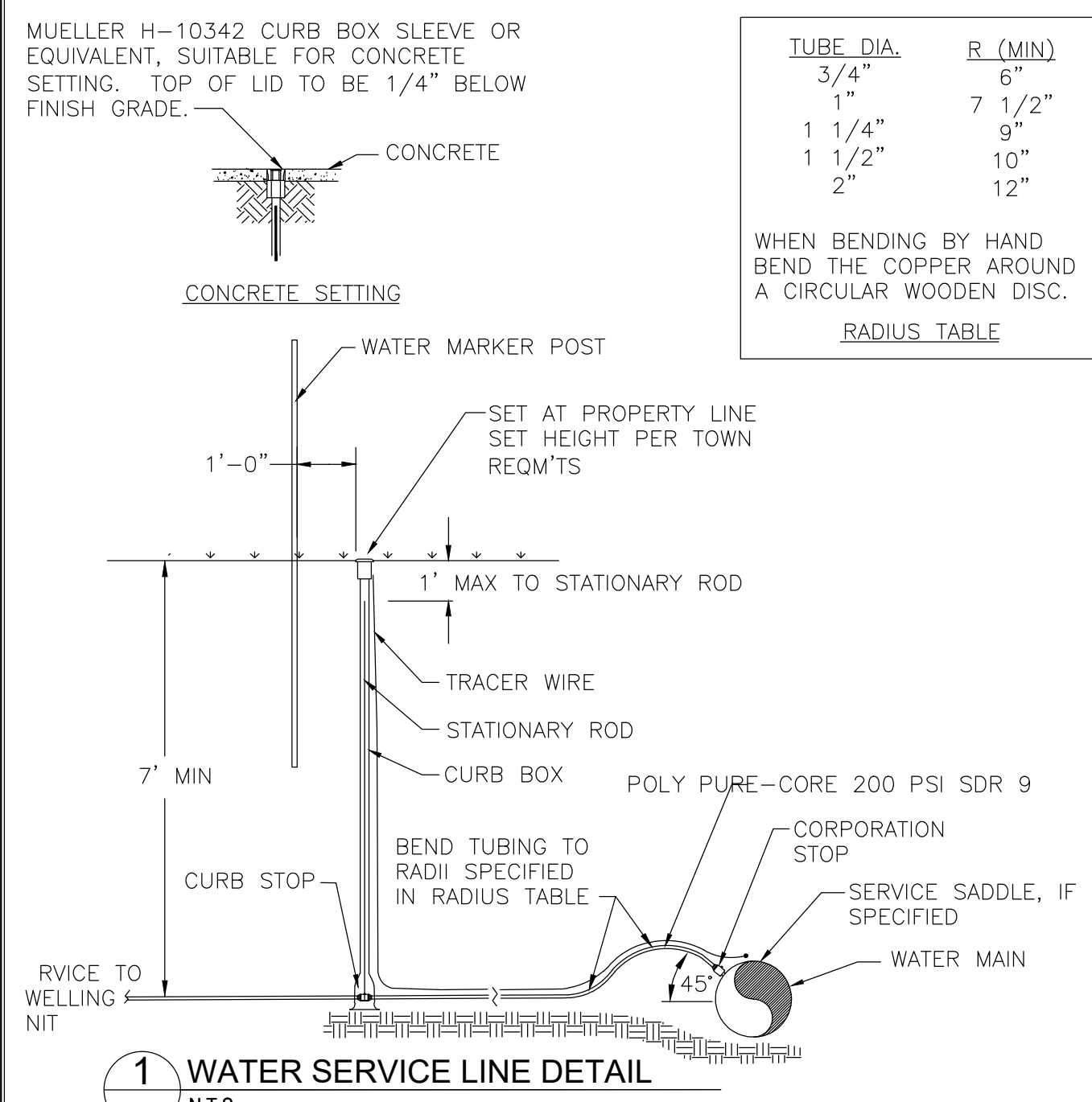
10 STANDARD PAVEMENT SECTION
N.T.S.



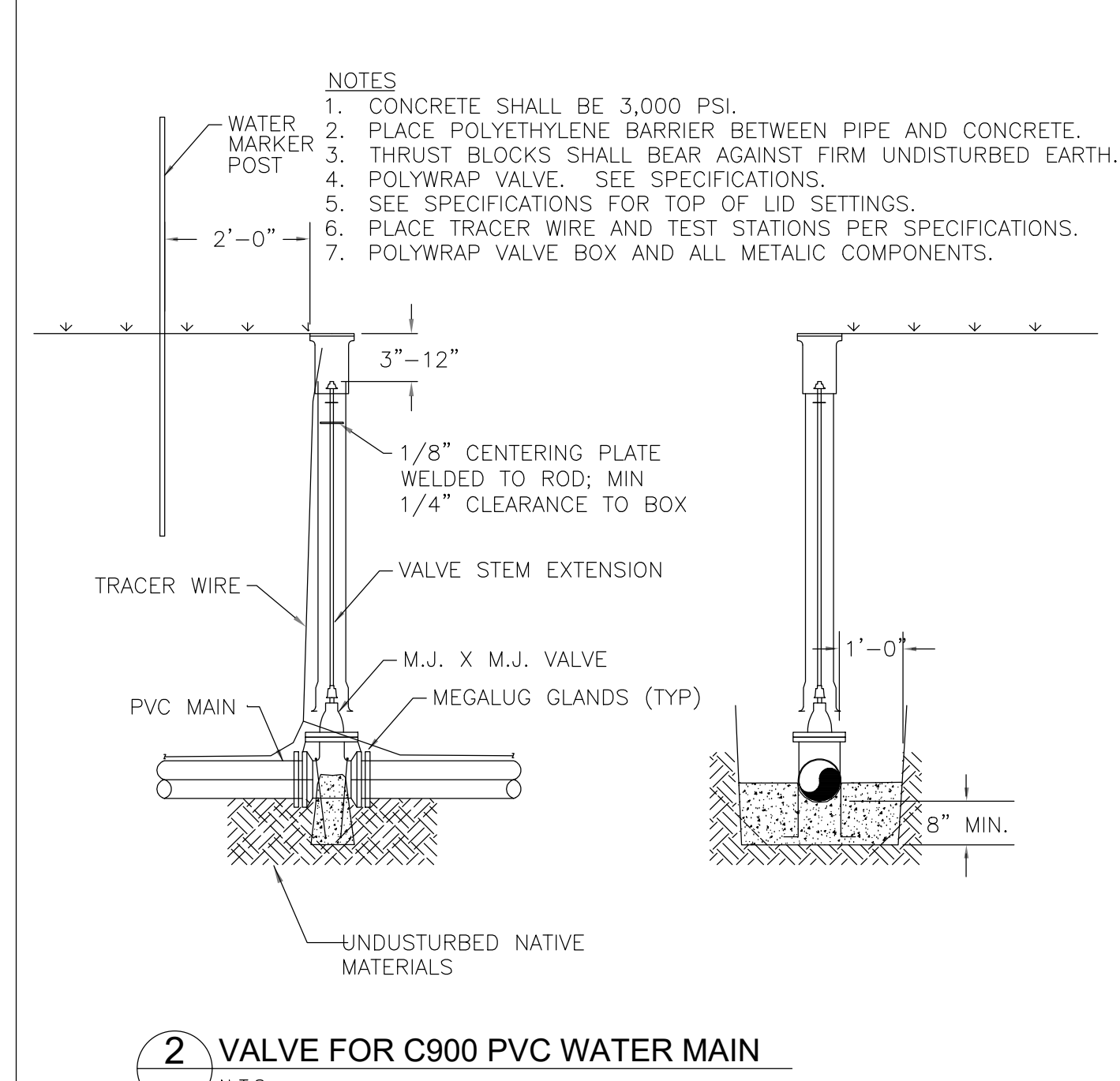
11 ASPHALT SECTION DETAIL
N.T.S.



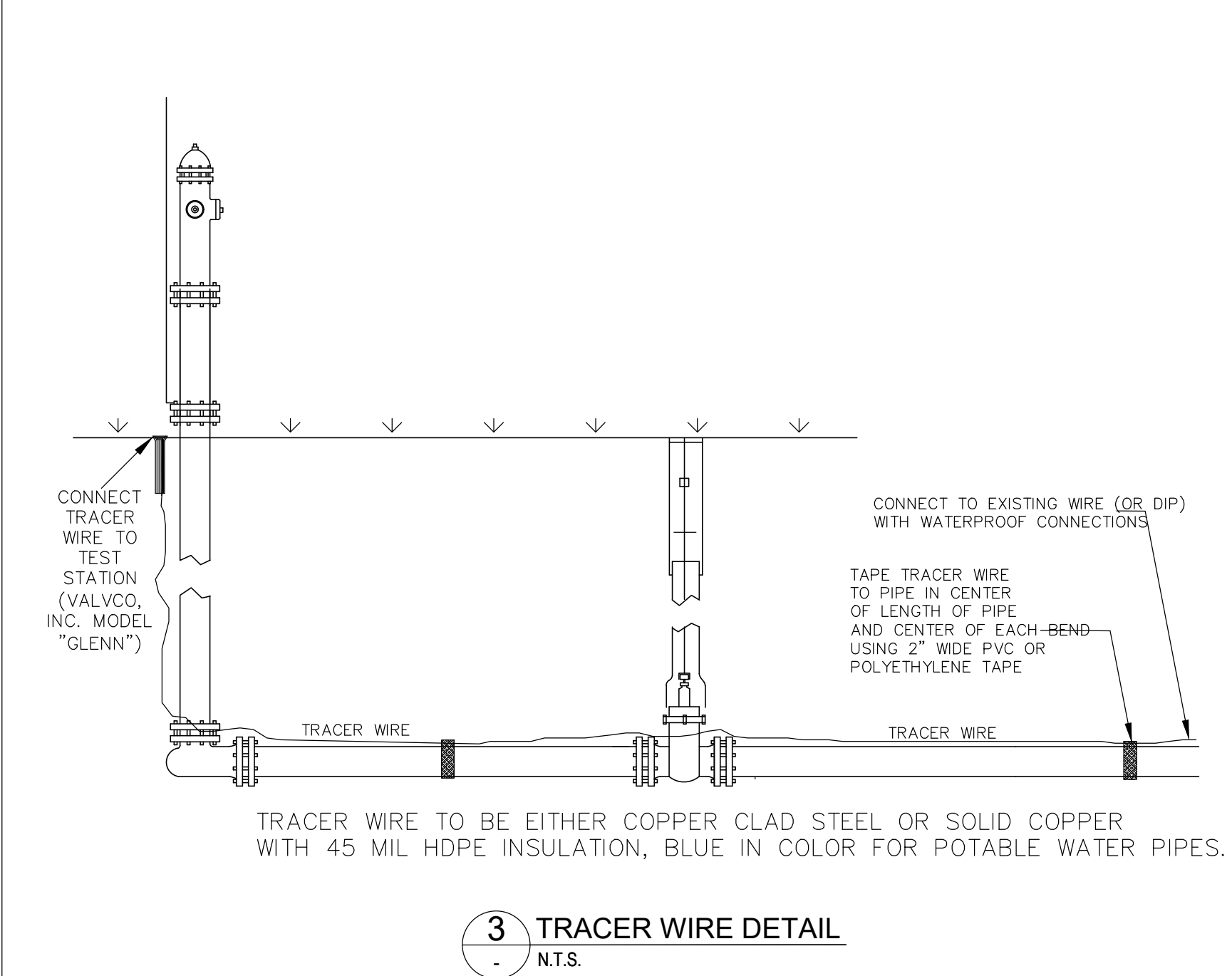
12 4' CONCRETE PAN DETAIL
N.T.S.



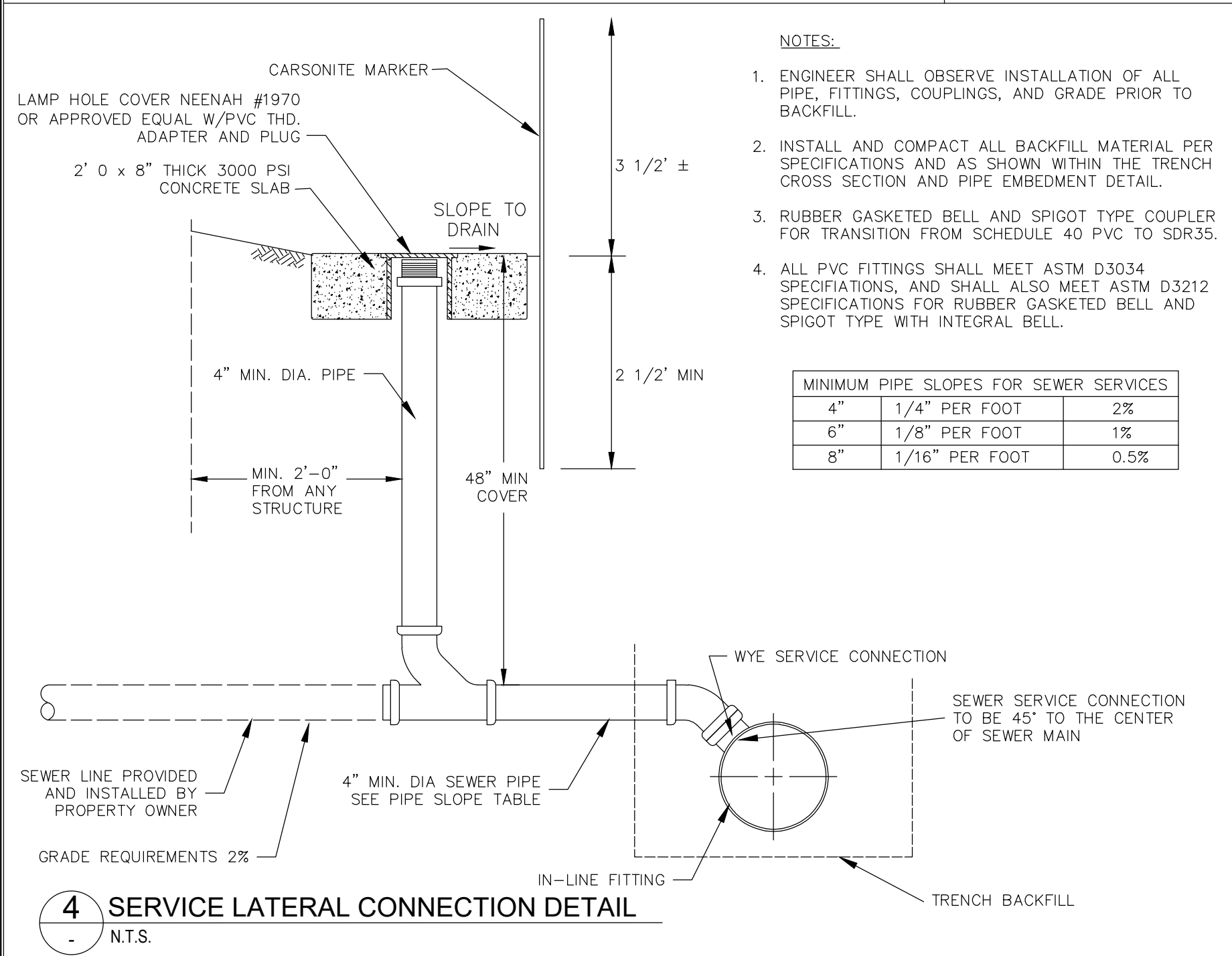
1 WATER SERVICE LINE DETAIL
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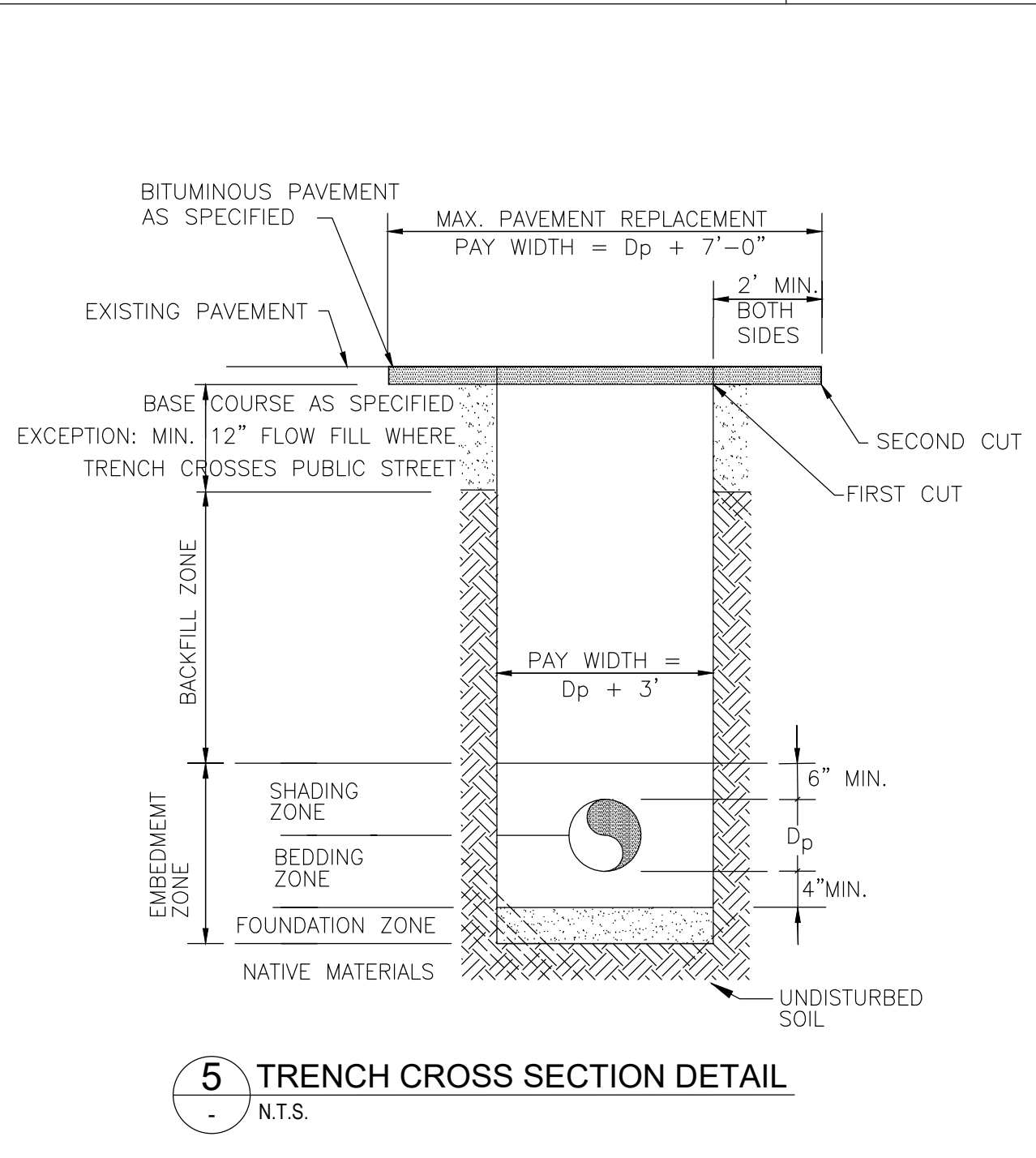
2 VALVE FOR C900 PVC WATER MAIN
N.T.S.



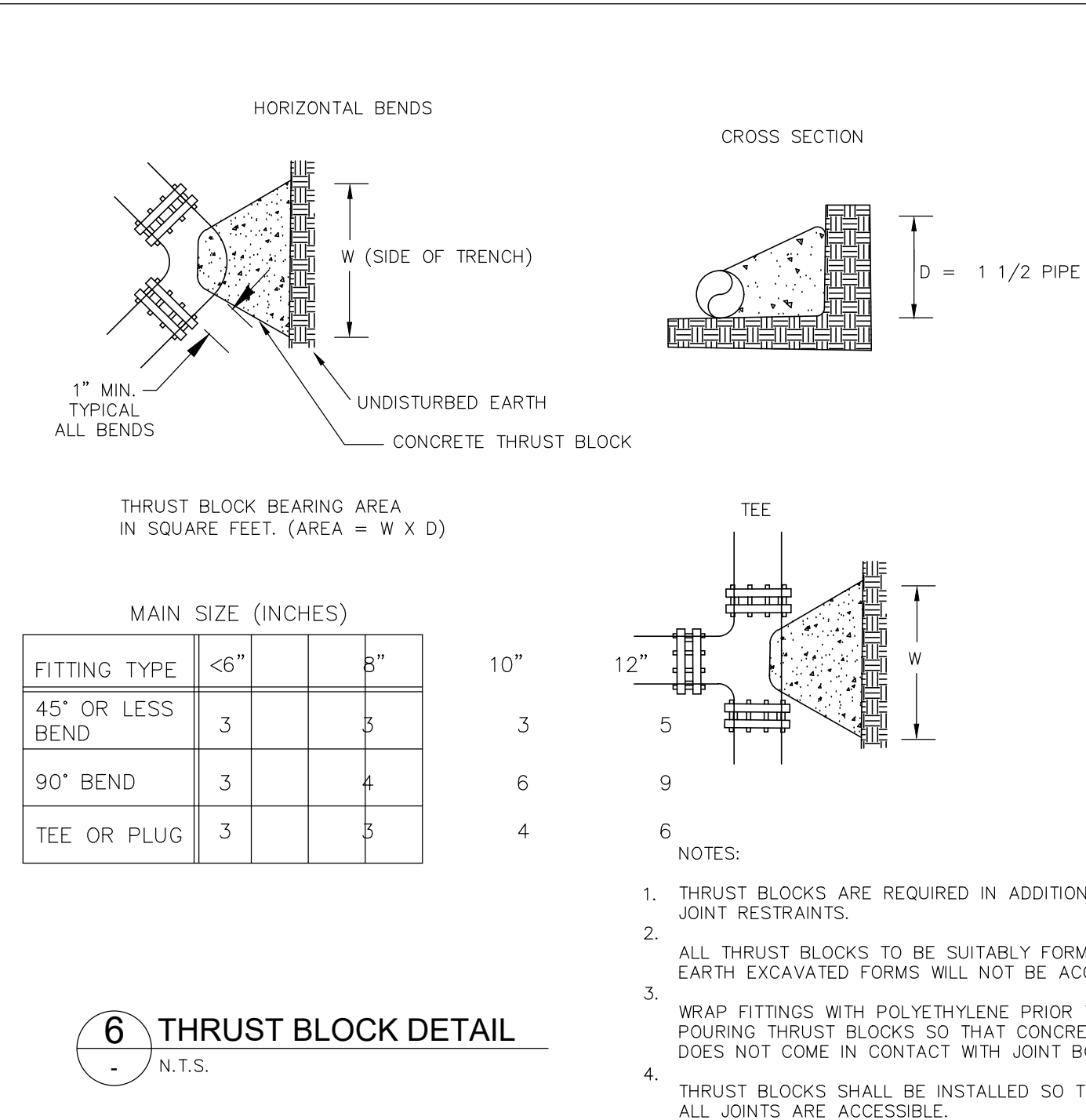
3 TRACER WIRE DETAIL
N.T.S.



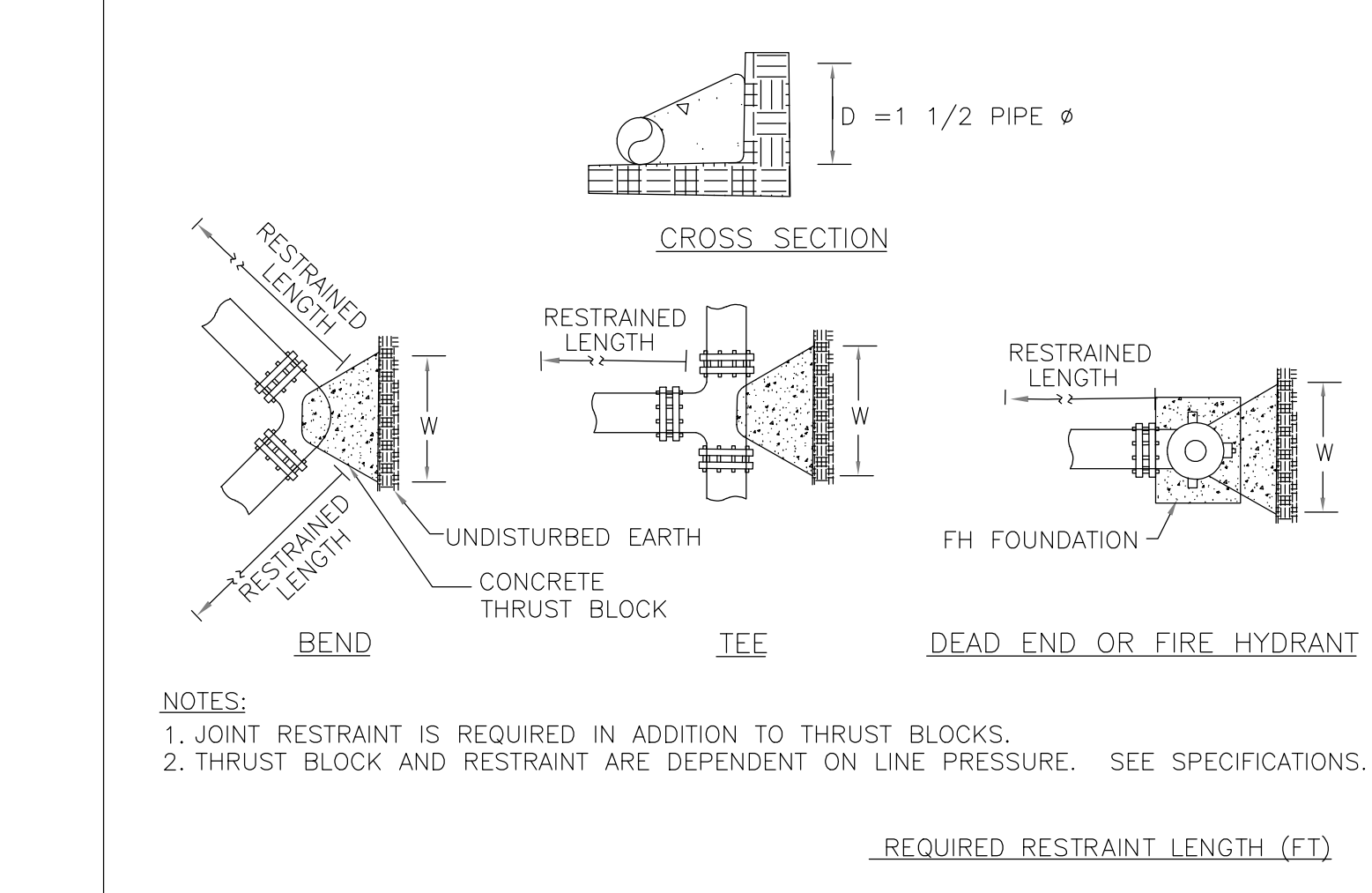
4 SERVICE LATERAL CONNECTION DETAIL
N.T.S.



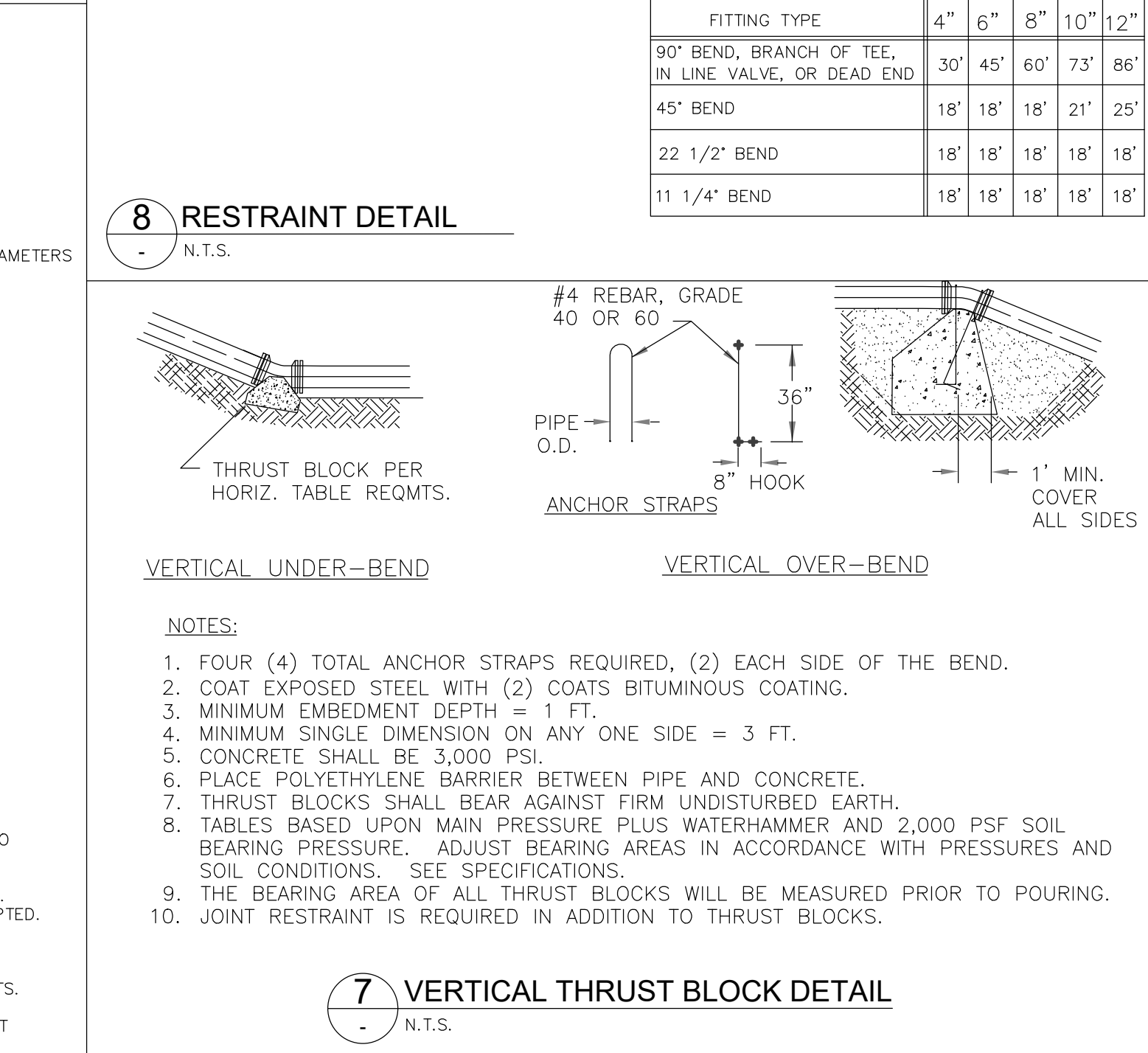
5 TRENCH CROSS SECTION DETAIL
N.T.S.



6 THRUST BLOCK DETAIL
N.T.S.



8 RESTRAINT DETAIL
N.T.S.



7 VERTICAL THRUST BLOCK DETAIL
N.T.S.

FOUR POINTS SURVEYING ENGINEERING

440 S. Lincoln Ave, Suite 4A
P.O. Box 779966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointse.com

LOTS 14-16 VALLEY VIEW BUSINESS PARK

INDUSTRIAL AVE
HAYDEN, CO 81639

HORIZONTAL SCALE

0 20' 40'

SCALE: 1" = 20'

CONTOUR INTERVAL = 1 ft

DATE: 1-15-2024
JOB #: 2278-001
DRAWN BY: RS
DESIGN BY: MDM, RS
REVIEW BY: FPSE

DETAILS

DRAWING:

SHEET NO. **C8**

CONSTRUCTION SITE MANAGEMENT PLAN

LOTS 14-16, VALLEY VIEW BUSINESS PARK
 LOCATED IN THE SE 1/4 OF SECTION 10, TOWNSHIP 6 NORTH,
 RANGE 88 WEST OF THE 6TH P.M., HAYDEN, ROUTT COUNTY,
 COLORADO



440 S. Lincoln Ave, Suite 4A
 P.O. Box 775966
 Steamboat Springs, CO 80487
 (970)-871-6772
 www.fourpointse.com

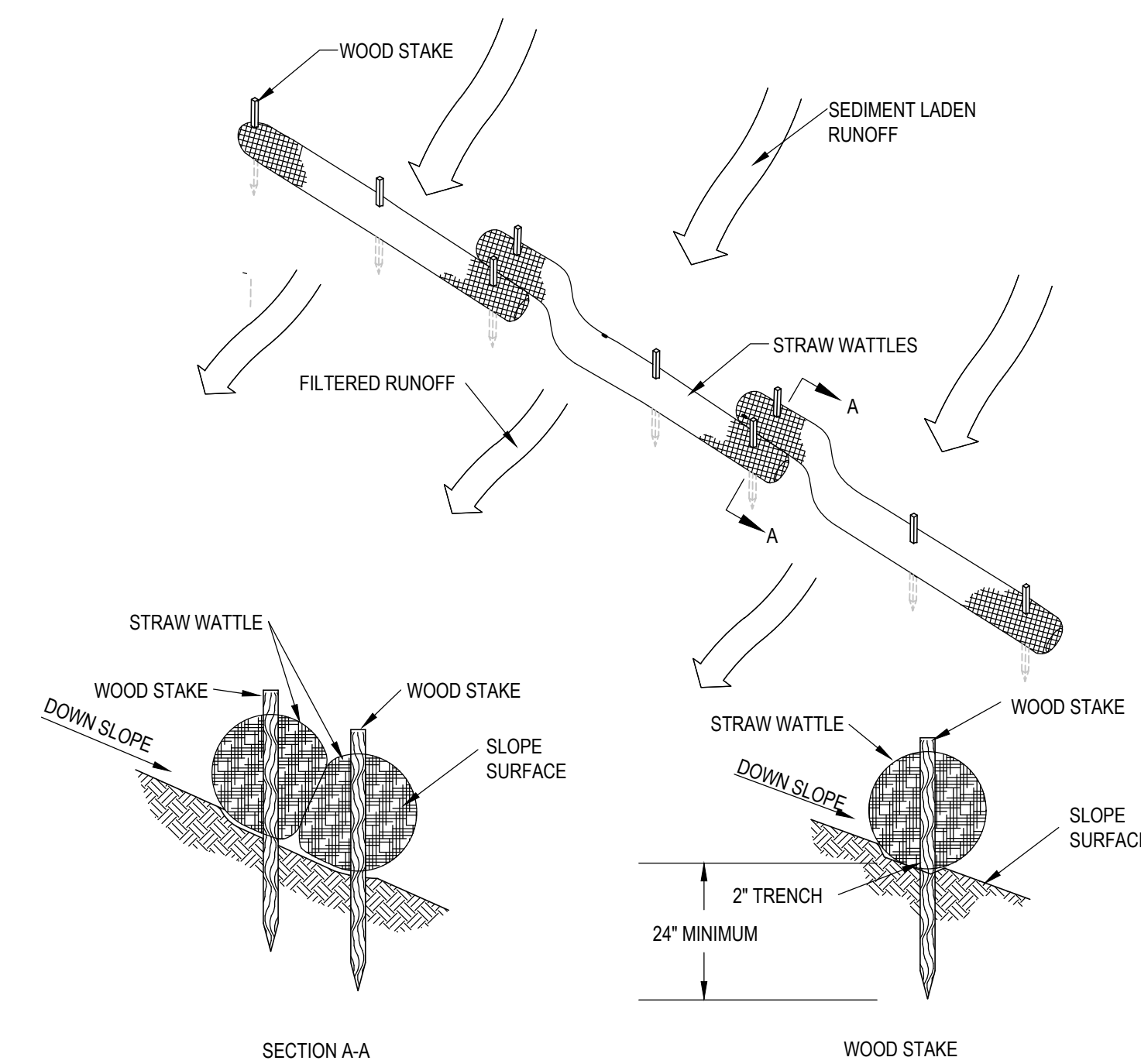
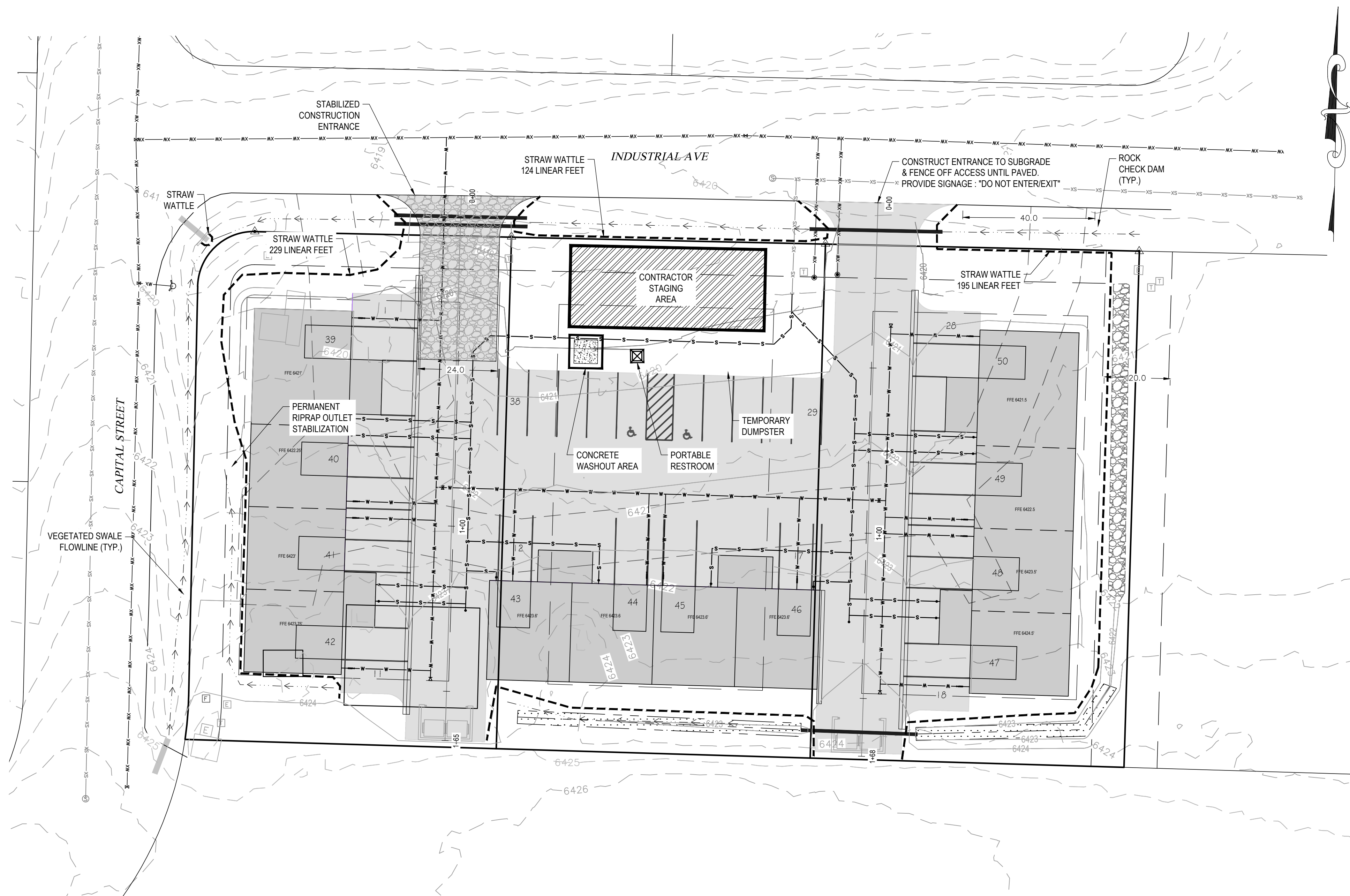
NO.	DATE	REVISIONS	BY	CHKD
1	1-15-24	REDLINES		

LOTS 14-16 VALLEY VIEW BUSINESS PARK
 INDUSTRIAL AVE
 HAYDEN, CO 81639

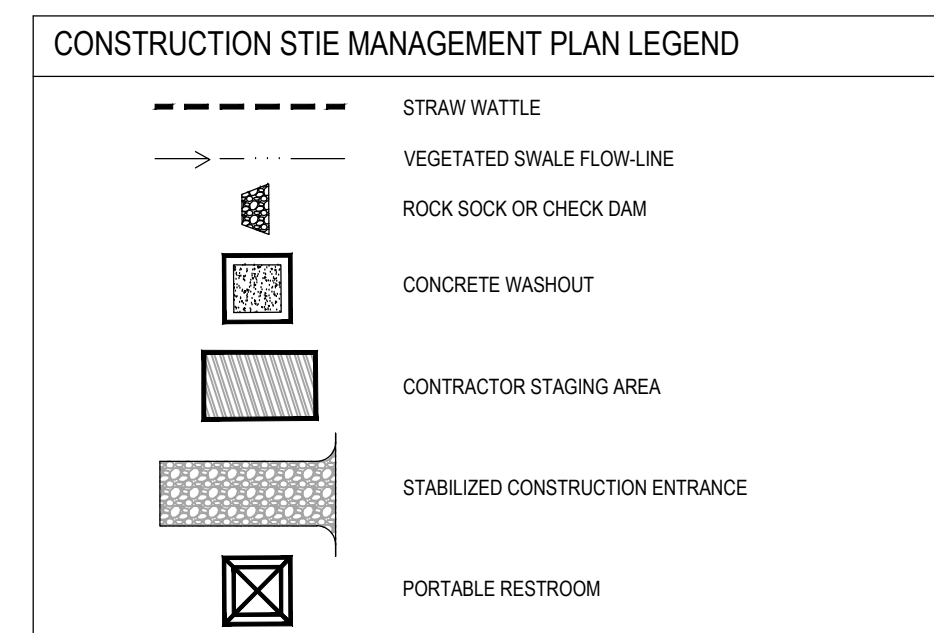
HORIZONTAL SCALE
 0 20' 40'
 SCALE: 1" = 20'
 CONTOUR INTERVAL = 1 ft
 DATE: 1-15-2024
 JOB #: 2278-001
 DRAWN BY: RS
 DESIGN BY: MDM, RS
 REVIEW BY: FPSE

CONSTRUCTION SITE MANAGEMENT PLAN

DRAWING:
 SHEET NO.
C9

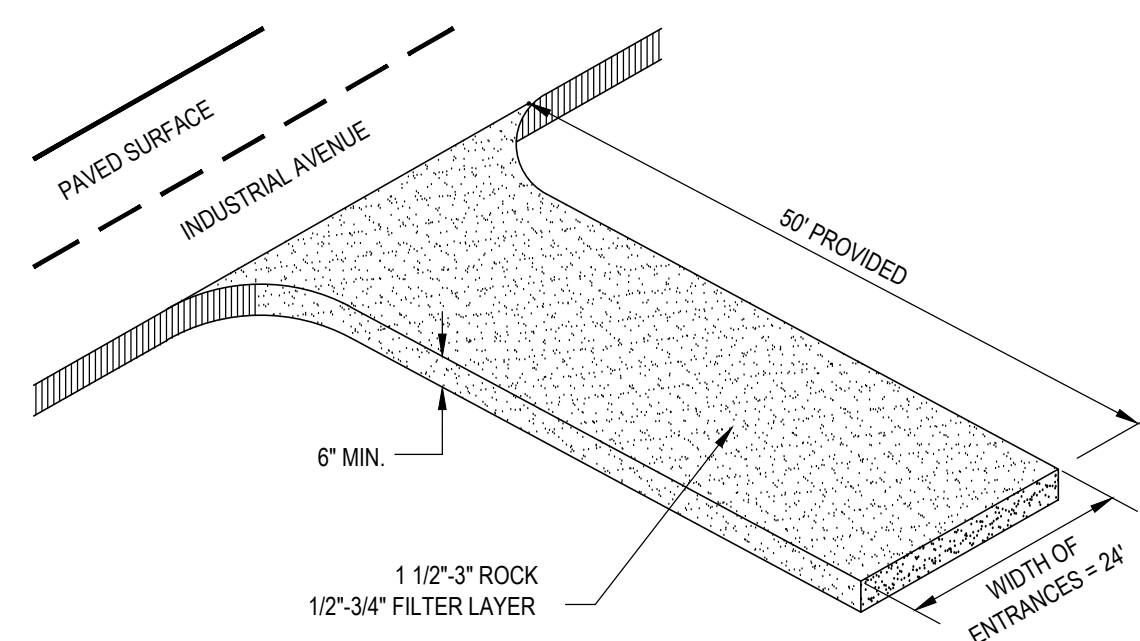


STRAW WATTLE DETAILS
 NOT TO SCALE

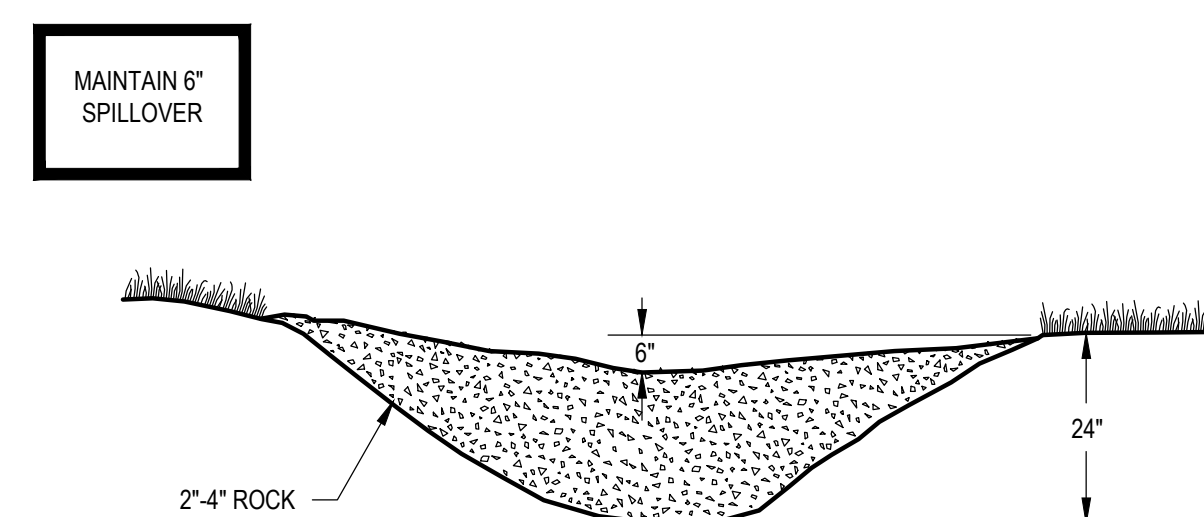


CONSTRUCTION SITE MANAGEMENT PLAN NOTES:

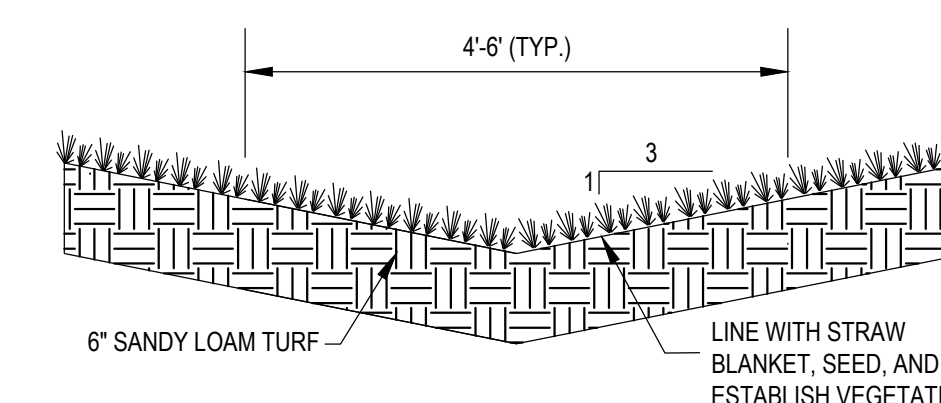
- THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
- CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL CONTROL MEASURES HAVE BEEN INSTALLED.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AND ESTABLISHING ANY REQUIRED PERMANENT CONTROL MEASURES TO PREVENT RELEASE OF POLLUTANTS FROM THE PROJECT SITE.
- CONTROL MEASURES SHALL BE USED, MODIFIED, AND MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM CONTROL MEASURES WHEN THE SEDIMENT LEVEL REACHES 1/2 THE HEIGHT OF THE CONTROL MEASURE (APPLIED TO ROCK CHECK DAMS AND STRAW WATTLE).
- THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATERWAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
- ALL INGRESS AND EGRESS ACCESS POINTS ON TO THE DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMP.
- TEMPORARY SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED WHERE GROUND DISTURBANCES HAVE TEMPORARILY OR PERMANENTLY CEASED FOR 14 DAYS OR FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.
- CONCRETE WASTE AND WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE, AND PROPERLY DISPOSED. MATERIALS SHALL NOT BE ALLOWED TO ENTER STATE WATERS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS. IN ADDITION CONTRACTOR MUST OBTAIN REQUIRED PERMITS.
- EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE AND PASSABLE AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ADEQUATE WASTE MANAGEMENT INCLUDING BUT NOT LIMITED TO A REGULARLY MAINTAINED ON SITE DUMPSTER AND PORTA-POTTY.
- FINAL STABILIZATION IS THE CONDITION REACHED WHEN ALL GROUND SURFACE DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND FOR ALL AREAS OF GROUND SURFACE DISTURBING ACTIVITIES A UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST 70 PERCENT OF PRE-DISTURBANCE LEVELS, OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED.



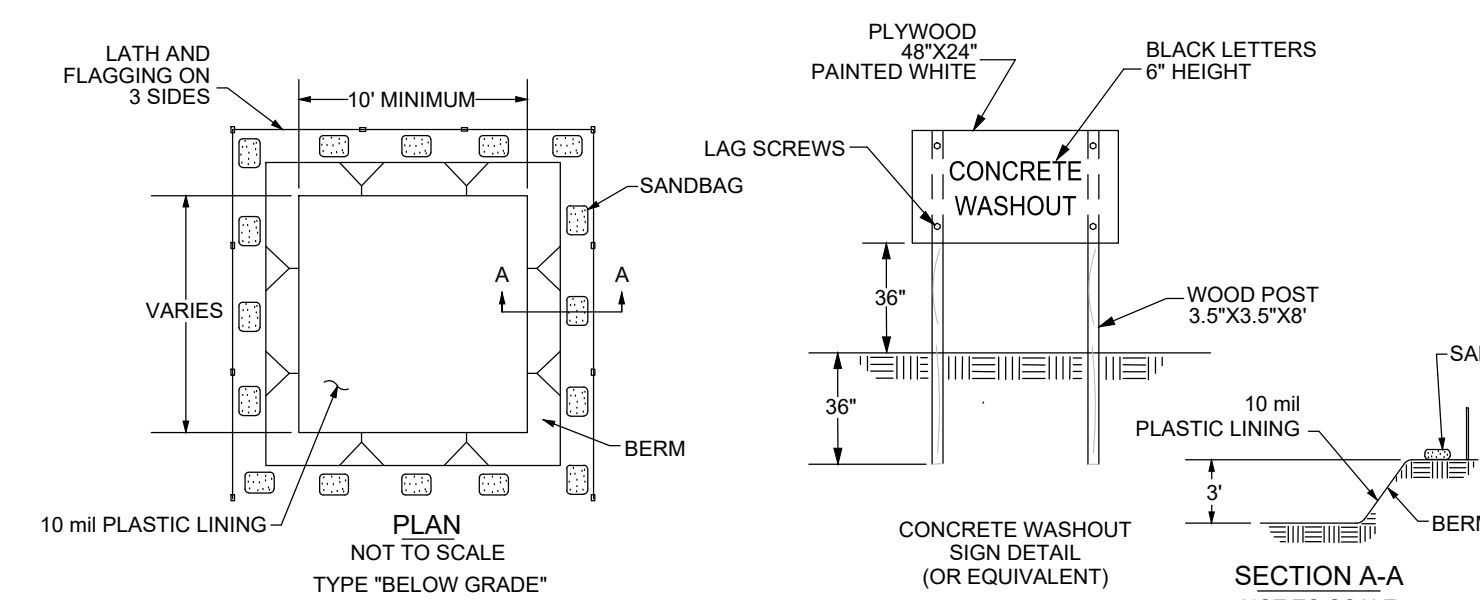
STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE



ROCK CHECK DAM DETAIL
 NOT TO SCALE



TYPICAL VEGETATED DRAINAGE SWALE DETAIL
 NOT TO SCALE



CONCRETE WASHOUT DETAILS
 NOT TO SCALE

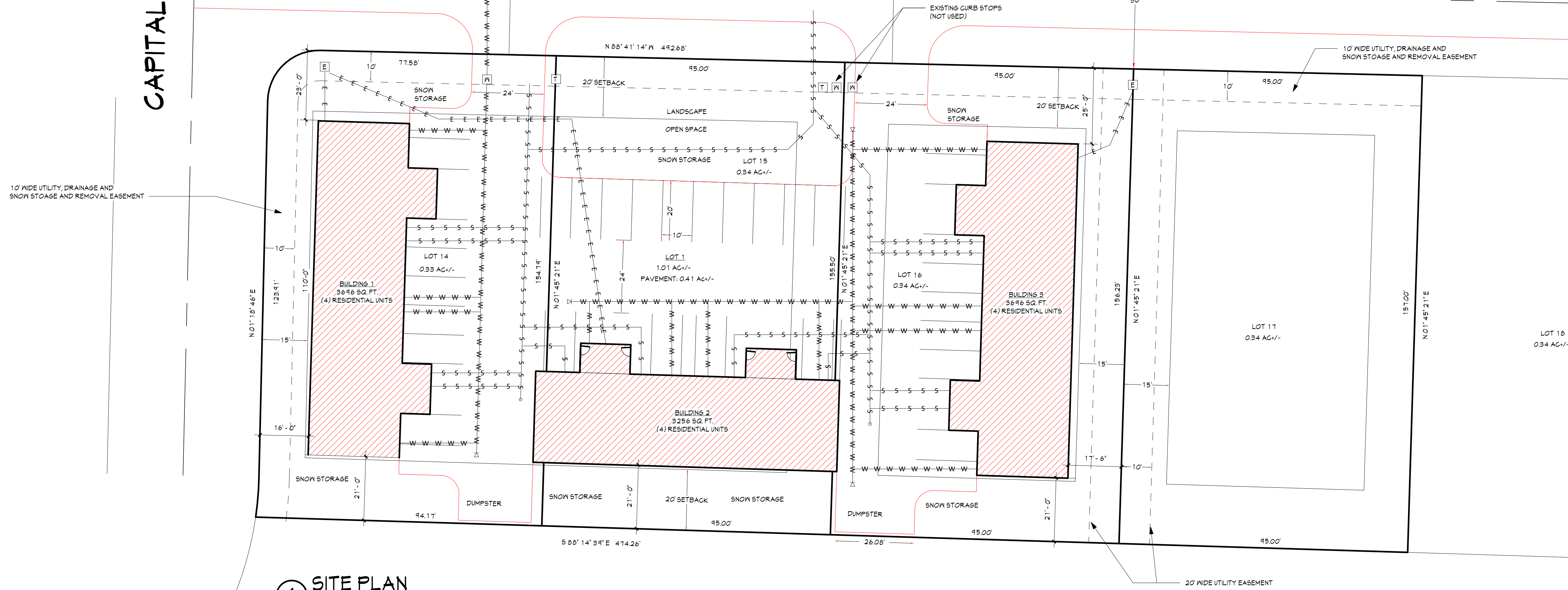
CARLSON CORNER

CAPITAL STREET

INDUSTRIAL AVENUE

COMMERCE STREET

RGR 37



1 SITE PLAN
1" = 20'-0"

LEGEND

- W-W-W-W-W-W- WATER LINE
- S-S-S-S-S-S- SEWER LINE
- T-T-T-T-T-T- TELEPHONE
- E-E-E-E-E-E- ELECTRIC LINE

ZONED: I (INDUSTRIAL)
 SETBACKS: 20' FRONTAGE, 15' SIDE + 20' REAR
 PARCEL ID #: 260200014
 STREET ADDRESS: 821 INDUSTRIAL AVE.
 LEGAL DESCRIPTION: LOT 14, VALLEY VIEW BUSINESS PARK, HAYDEN, ROUTT COUNTY, COLORADO

SITE PLAN

1" = 20'
 NOTE:
 NO WATER BODIES, RIVERS, STREAMS, LAKES, RESERVOIRS, OR PONDS ARE LOCATED WITHIN 50' OF THE PROPOSED STRUCTURE OR DRIVEWAY.
 ALL DISTURBED AREAS TO BE REVEGETATED
 SURVEY & TOPOGRAPHIC INFORMATION PROVIDED BY LANDMARK, INC. AND MODIFIED BY JAKE'S DRAFTING SERVICE, INC. FOR USE AS A SITE PLAN

NO	OF	NO	DESCRIPTION
0	OF	12	COV COVER / SITE PLAN
1	OF	12	A.1.0 BLDG 1 / 3 MAIN LEVEL
2	OF	12	A.1.1 BLDG 1 / 3 UPPER LEVEL
3	OF	12	A.1.2 BLDG 1 / 3 ROOF PLAN
4	OF	12	A.1.3 BLDG 2 MAIN LEVEL
5	OF	12	A.1.4 BLDG 2 UPPER LEVEL
6	OF	12	A.1.5 BLDG 2 ROOF PLAN
7	OF	12	A.2.0 B1 ELEVATIONS
8	OF	12	A.2.1 B1 ELEVATIONS
9	OF	12	A.2.2 B2 ELEVATIONS
10	OF	12	A.2.3 B2 ELEVATIONS
11	OF	12	A.2.4 B3 ELEVATIONS
12	OF	12	A.2.5 B3 ELEVATIONS

OWNER

SDC VENTURES LLC
 44200 DIAMONDBACK WAY
 STEAMBOAT, CO 80487

DESIGNER

AMPLIFY ARCHITECTURE
 KIERAN PATRICK O'HALLORAN
 426 OAK ST.
 STEAMBOAT SPRINGS, CO 80477
 970-879-7929
 WWW.AMPLIFYARCH.COM

CIVIL ENGINEER

FOUR POINTS SURVEYING + ENGINEERING
 WALER MAGILL
 410 S. LINCOLN AVE, UNIT 15
 PO BOX 775966
 STEAMBOAT SPRINGS, CO 80487
 970.871.6772
 WWW.FOURPOINTSSE.COM

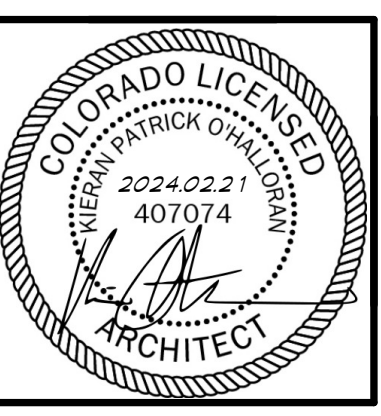
LANDSCAPE

HICKORY FLATS LANDSCAPE
 ANDY BENJAMIN
 970-879-7929
 HICKORYFLATSLDS@GMAIL.COM

CONSTRUCTION SITE MANAGEMENT PLAN

1. THIS PLAN SHALL BE KEPT ON SITE ON ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
2. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL CONTROL MEASURES HAVE BEEN INSTALLED.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AND ESTABLISHING ANY REQUIRED PERMANENT CONTROL MEASURES TO PREVENT RELEASE OF POLLUTANTS FROM THE PROJECT SITE.
4. CONTROL MEASURES SHALL BE USED, MODIFIED, AND MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM CONTROL MEASURES WHEN THE SEDIMENT LEVEL REACHES 1/2 THE HEIGHT OF THE CONTROL MEASURE.
5. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATERWAYS AS A RESULT OF CONSTRUCTION ACTIVITIES.
6. ALL INGRESS AND EGRESS ACCESS POINTS ON TO THE DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMP.
7. TEMPORARY SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED WHERE GROUND DISTURBANCES HAVE TEMPORARILY OR PERMANENTLY CEASED FOR 14 DAYS OR FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.
8. CONCRETE WASTE AND WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM SITE, AND PROPERLY DISPOSED. MATERIALS SHALL NOT BE ALLOWED TO ENTER STATE WATERS.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS. IN ADDITION, CONTRACTOR MUST OBTAIN REQUIRED PERMITS.
10. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE AND PASSABLE AT ALL TIMES.
11. FOR ANY WORK TO BE DONE IN THE RIGHT OF WAY, COORDINATE WITH THE CITY ROW MANAGER REGARDING SPECIAL PERMITTING. NO WORK SHALL BE CONDUCTED IN THE ROW BETWEEN NOVEMBER 1 AND MAY 1 WITHOUT PRIOR APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS.
12. WHERE REQUIRED AS PART OF THE ROW PERMIT OR WHERE SITE WORK AFFECTS THE PEDESTRIAN OR VEHICLE TRAVEL WAY, TRAFFIC CONTROL SHALL BE INSTALLED. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
13. SIDEWALKS ADJACENT TO CONSTRUCTION SITES SHALL BE MAINTAINED FOR PUBLIC USE BY THE CONTRACTOR. IN AREAS WHERE CONSTRUCTION IS TAKING PLACE NEXT TO THE SIDEWALK AND OVERHEAD HAZARDS ARE POSSIBLE, SITE IS RESPONSIBLE FOR INSTALLING AND MAINTAINING SIDEWALK PROTECTION.

amplifyarch.com
 732 LINCOLN AVE SUITE C
 P.O. BOX 774121
 STEAMBOAT SPRINGS, CO
 970.879.7929



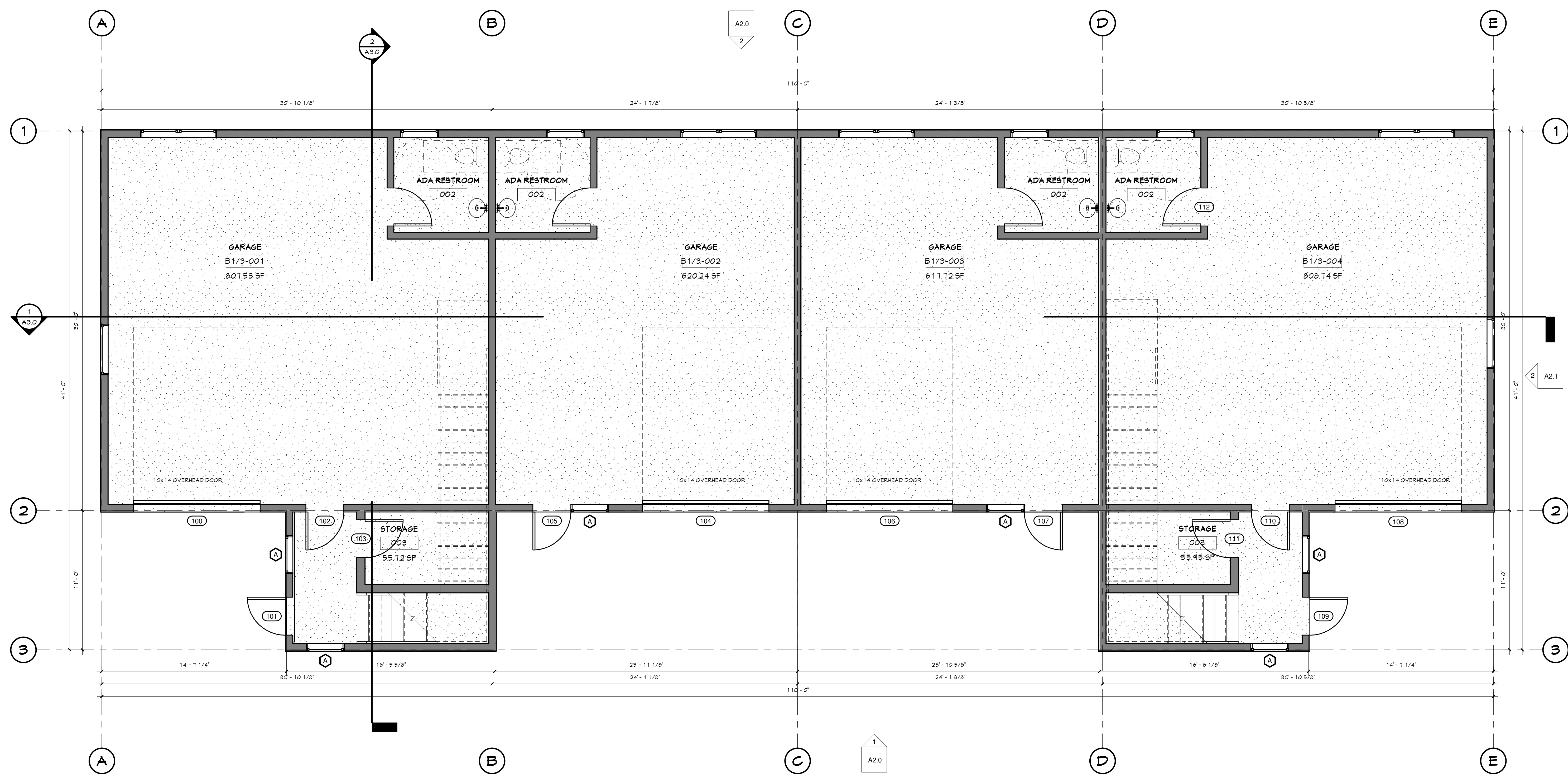
COVER / SITE PLAN FOR
the CARLSON CORNER LIVE/WORK
 821, 831 + 841 INDUSTRIAL AVE.
 HAYDEN COLORADO
 TBD

Job # 22014
 File 210_COVO
 Date __AUG21
 Draw VAM
 Checked JMH
 Re/d NFG
 Rev'd

Sheet Number
COV
 SHEET 0 OF 12

2/21/2024 11:14:52 AM G:\Shared drives\PROJECTS\22.14 - Carlson Corner\REVIT\22014x3.rvt

2/21/2024 11:14:23 AM G:\Shared drives\PROJECTS\22.14 - Carlson Corner\REVIT\22014A10.rvt



1 BLDG 1 / 3 MAIN LEVEL PLAN
1/4" = 1'-0"

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732 LINCOLN AVE SUITE C
PO BOX 774121
STEAMBOAT SPRINGS, CO
970.879.7939

AMPLIFY
ARCHITECTURE

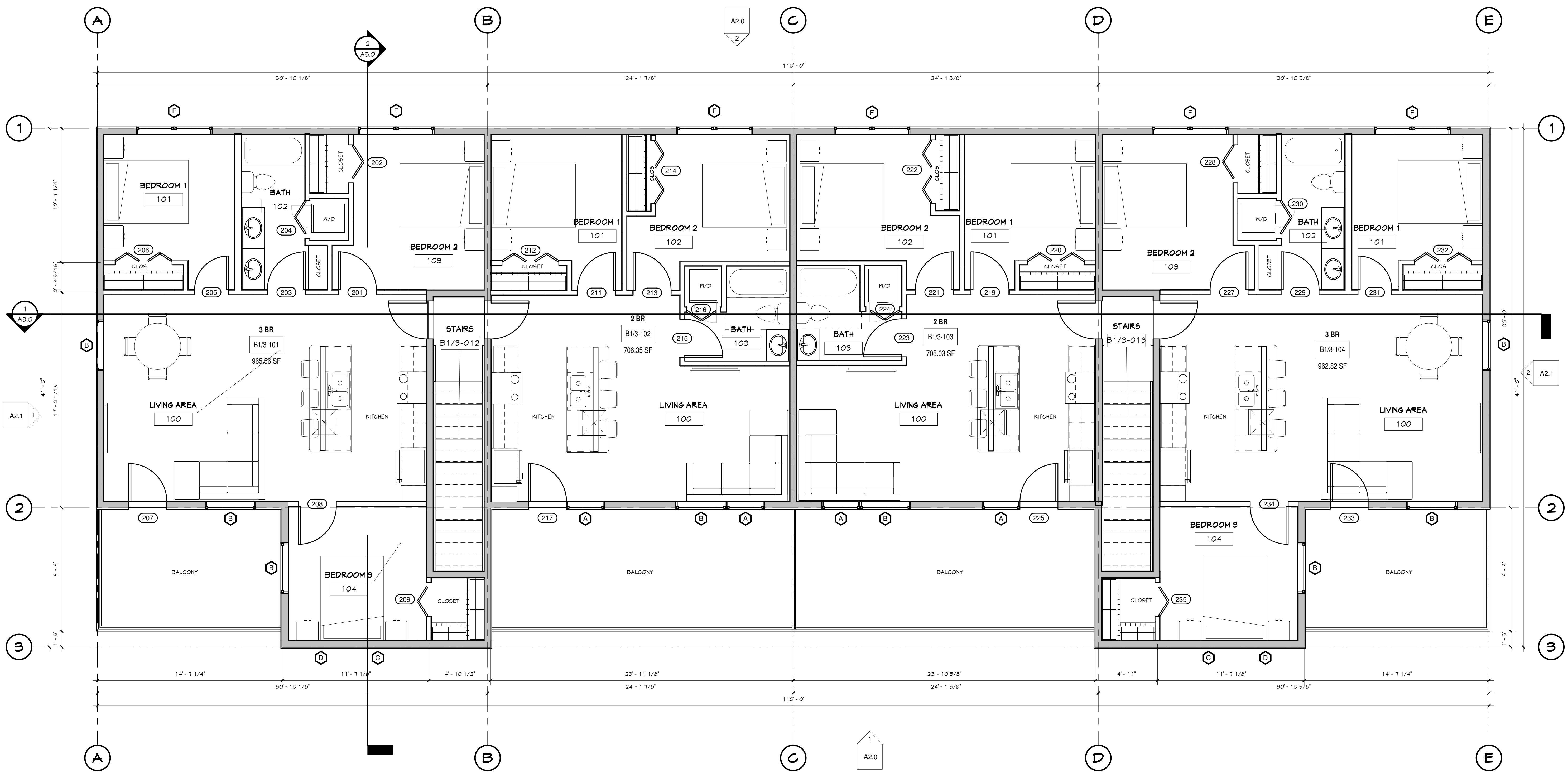


BLDG 1 / 3 MAIN LEVEL FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

Job #	22014
File	22014A10
Date	31JAN24
Drawn	KPO
Checked	KPO
Rel'd	NFC
Rev'd	

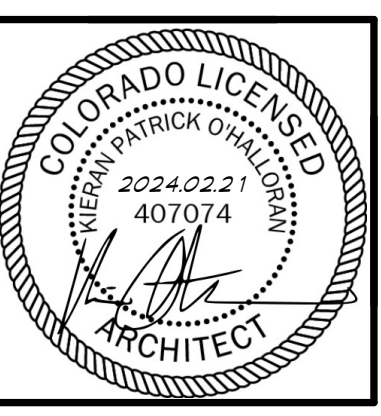
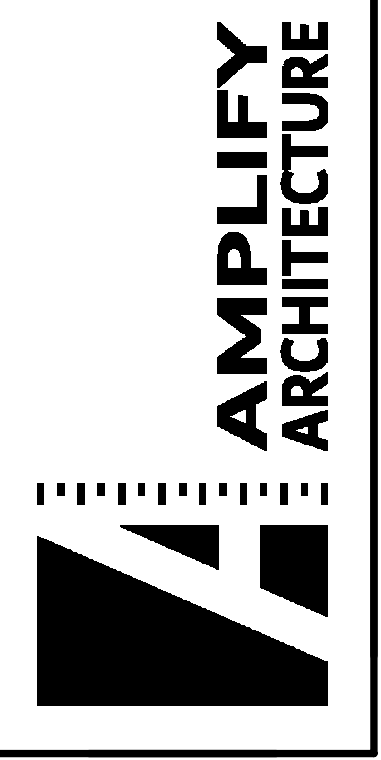
Sheet Number
A1.0
SHEET 1 OF 12

2/21/2024 11:14:24 AM G:\Shared drives\PROJECTS\22.1.4 - Carlson Corner\REVIT\22014x3.rvt



1 BLDG 1 / 3 UPPER LEVEL
1/4" = 1'-0"

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STEAMBOAT SPRINGS, CO
970.879.7929

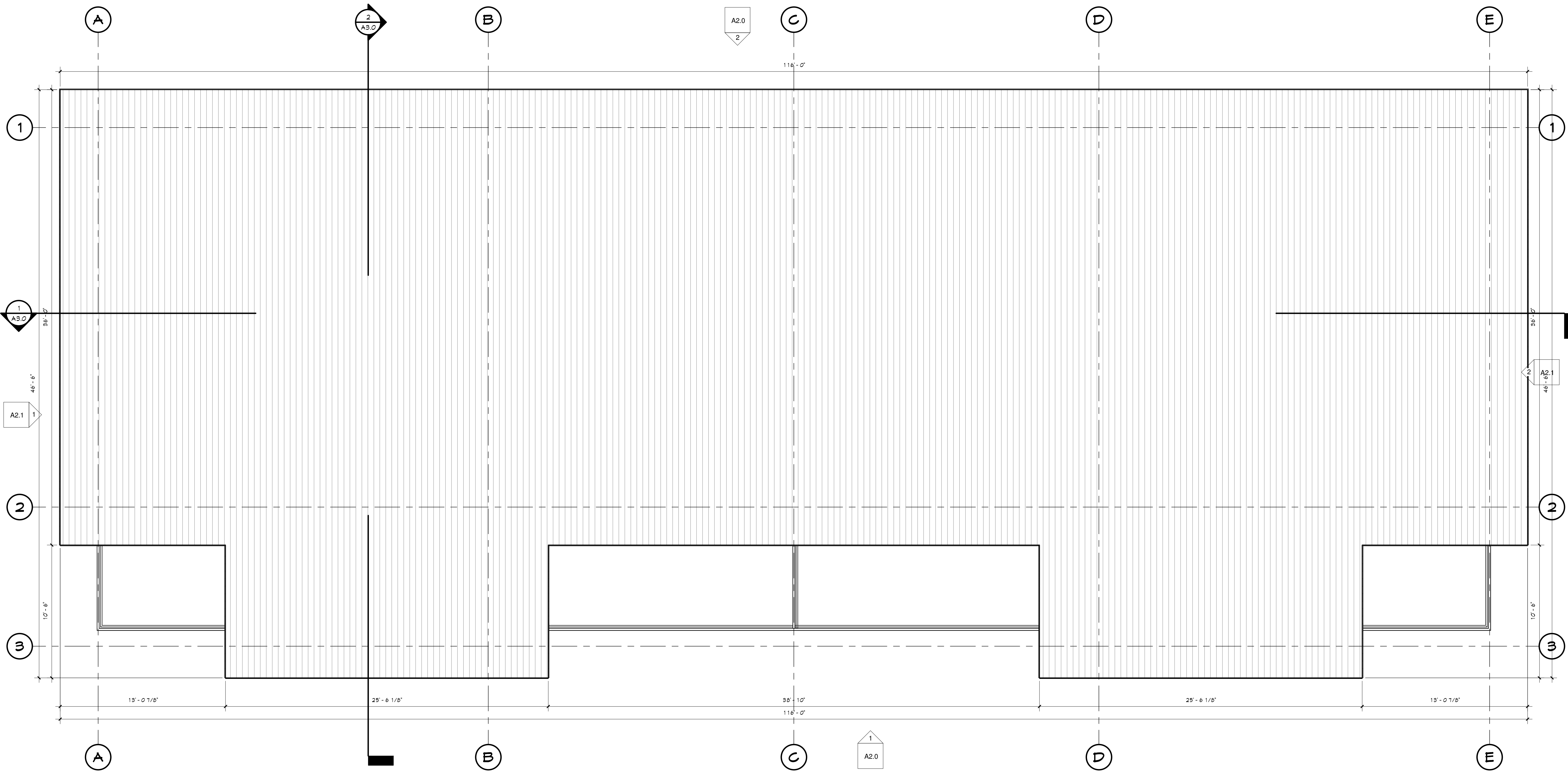


BLDG 1 / 3 UPPER LEVEL FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

Job # 22014
File 22014A11
Date 31JAN24
Drawn KPO
Checked KPO
Rel'd NFC
Rev'd

Sheet Number
A1.1
SHEET 2 OF 12

2/21/2024 11:14:24 AM G:\Shared drives\PROJECTS\22.14 - Carlson Corner\REVIT\22014x3.rvt



1 BLDG 1 / 3 ROOF PLAN
1/4" = 1'-0"

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732 LINCOLN AVE SUITE C
PO. BOX 774121
STEAMBOAT SPRINGS, CO
970.879.7929

AMPLIFY
ARCHITECTURE

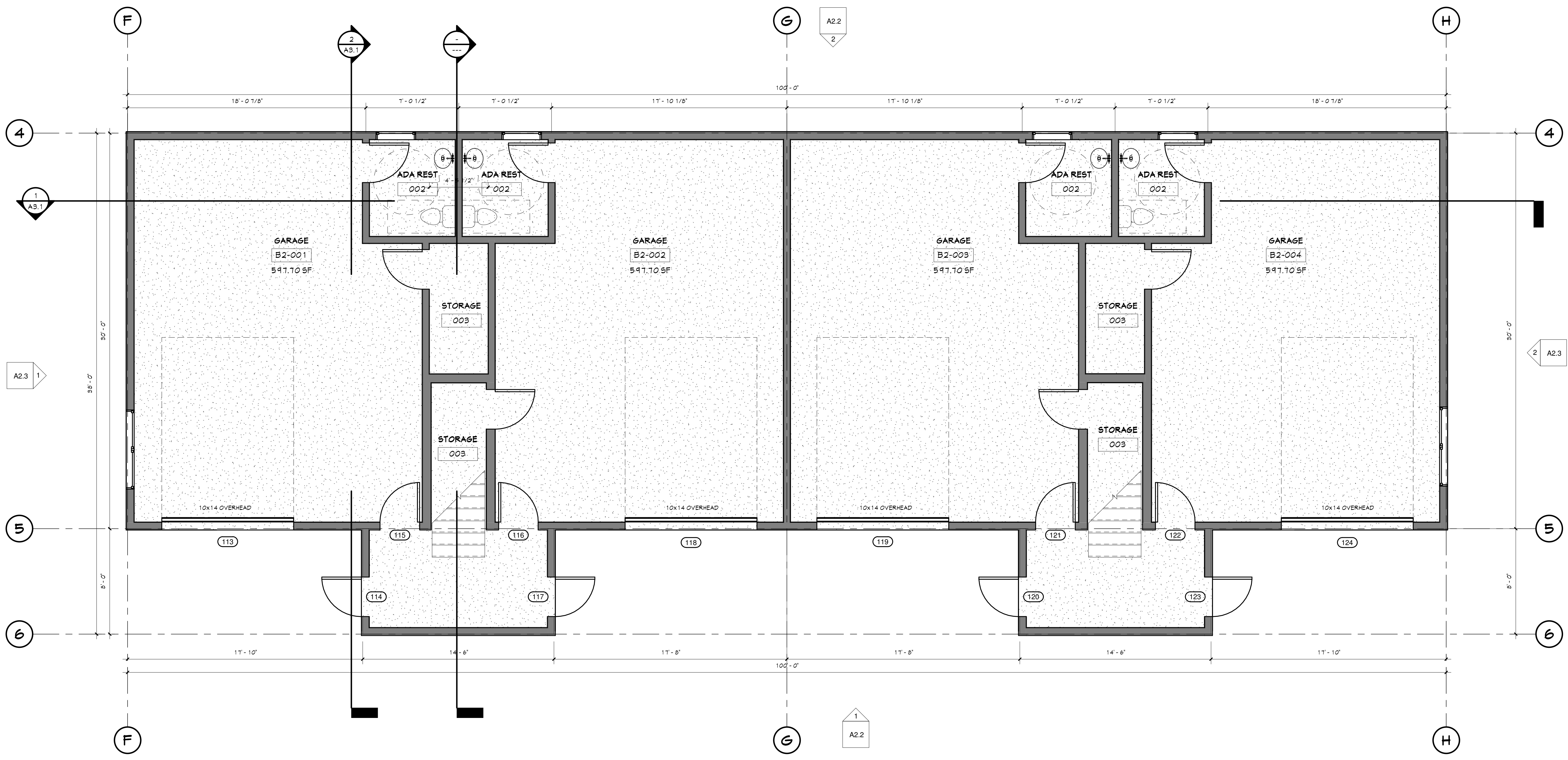


BLDG 1 / 3 ROOF PLAN FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

Job #	22.014
File	22014A12
Date	31JAN24
Drawn	KPO
Checked	KPO
Rel'd	NFC
Rev'd	

Sheet Number
A1.2
SHEET 3 OF 12

2/21/2024 11:14:25 AM G:\Shared drives\PROJECTS\22.14 - Carlson Corner\REVIT\22014A13.rvt



1 BLDG 2 MAIN LEVEL PLAN
1/4" = 1'-0"

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STEAMBOAT SPRINGS, CO
970.879.7939

AMPLIFY
ARCHITECTURE

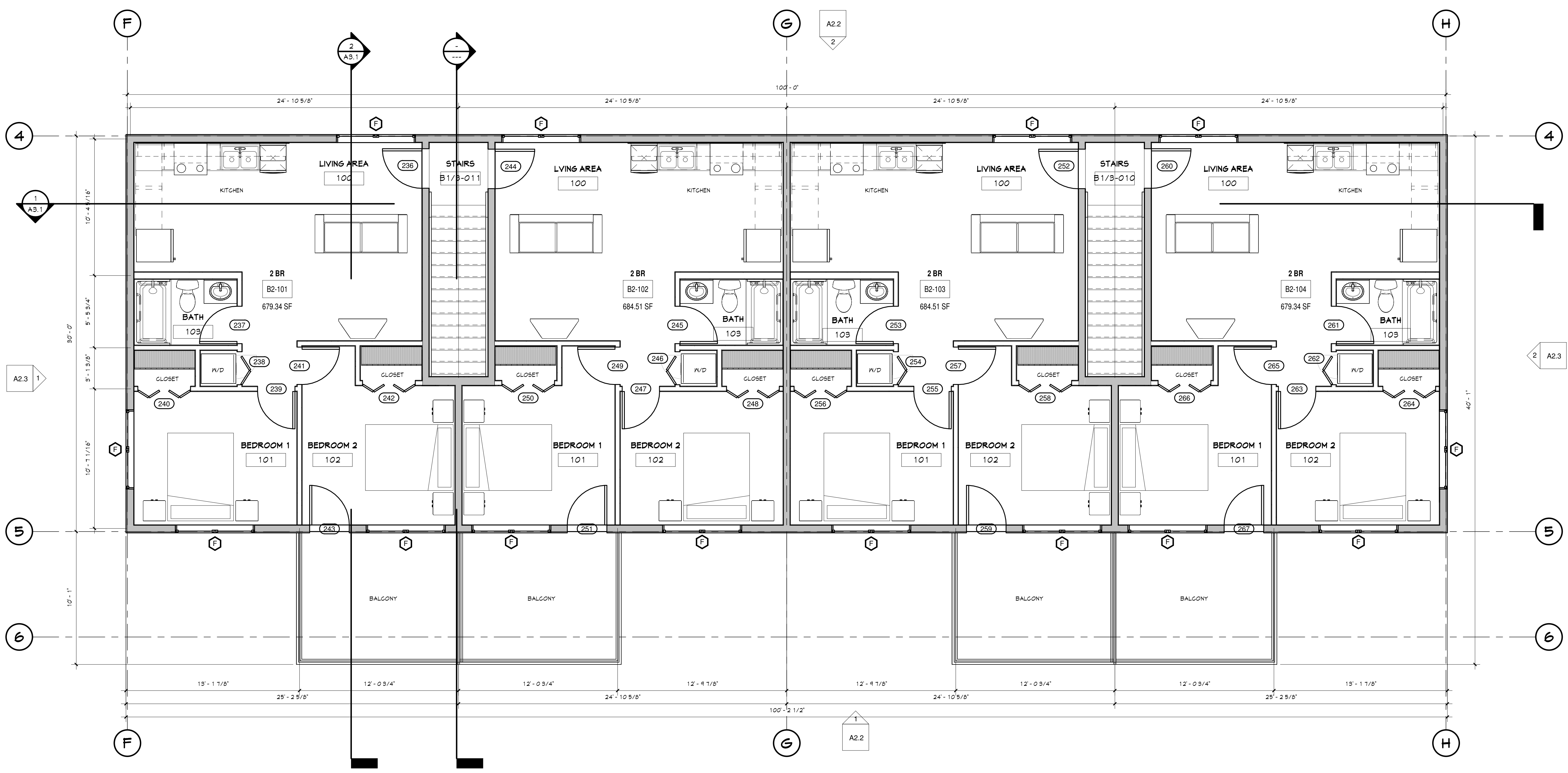


BLDG 2 MAIN LEVEL FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

Job # 22014
File 22014A13
Date 31JAN24
Drawn KPO
Checked KPO
Rel'd NFC
Rev'd

Sheet Number
A1.3
SHEET 4 OF 12

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1 BLDG 2 UPPER LEVEL
1/4" = 1'-0"

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PO. BOX 774121
STEAMBOAT SPRINGS, CO
970.879.7929

AMPLIFY
ARCHITECTURE

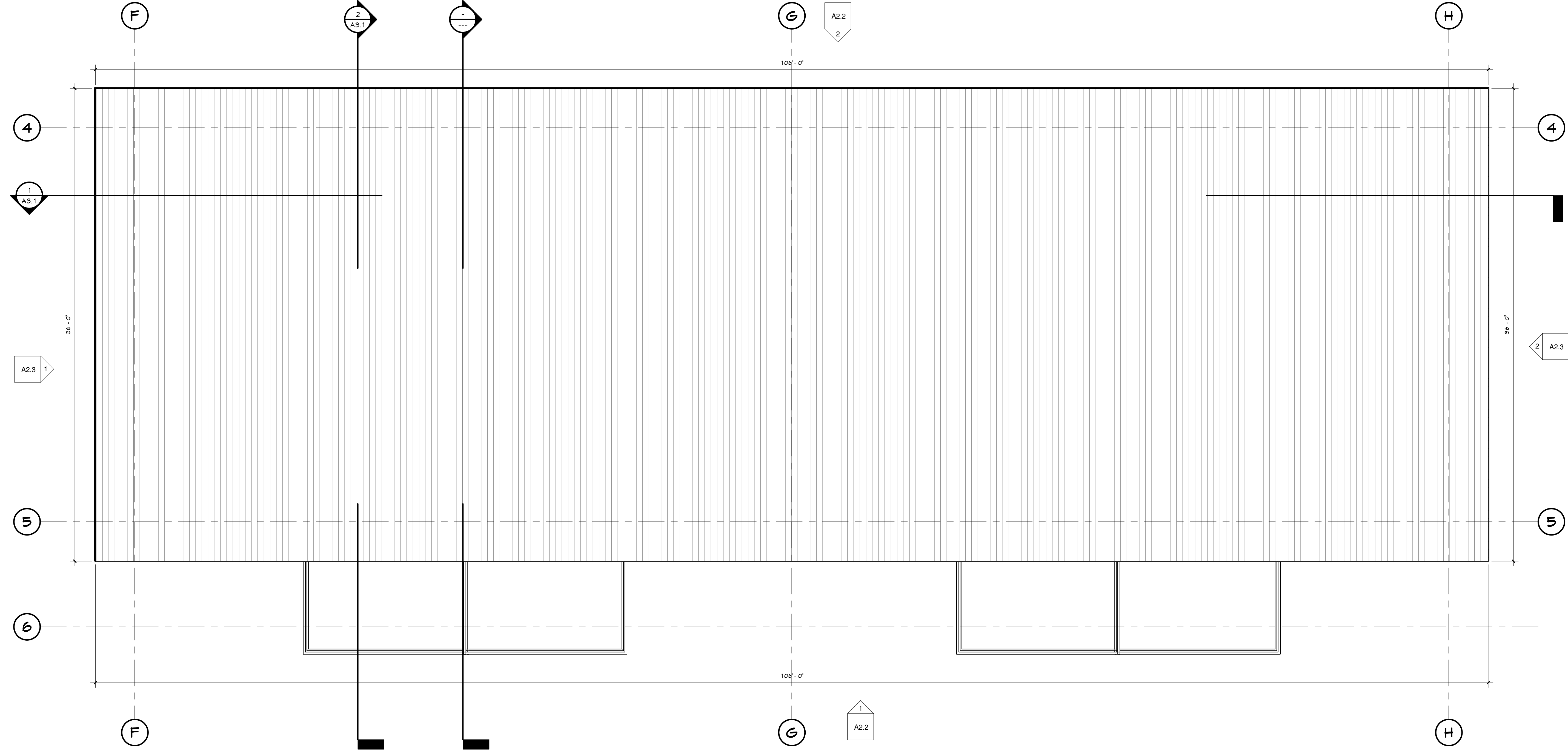


BLDG 2 UPPER LEVEL FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

Job #	22014
File	22014A14
Date	31JAN24
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Sheet Number
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SHEET 5 OF 12

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1 BLDG 2 ROOF PLAN
1/4" = 1'-0"

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ARCHITECTURE

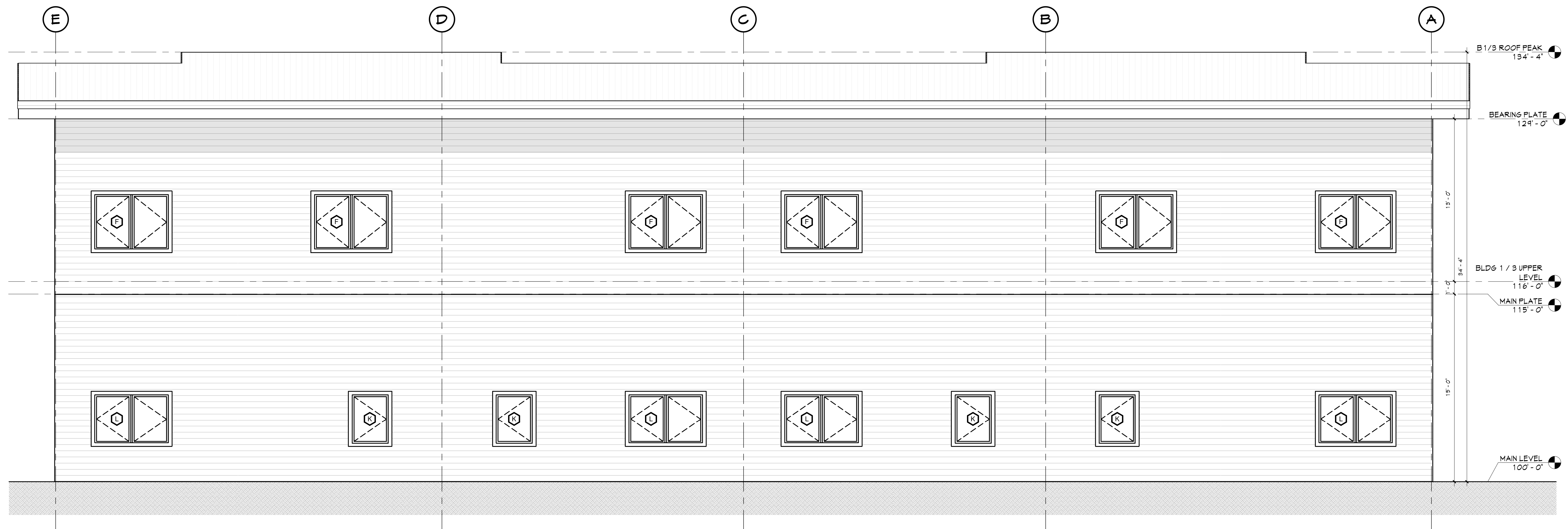


BLDG 2 ROOF PLAN FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

Job #	22014
File	22014A15
Date	31JAN24
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SHEET 6 OF 12

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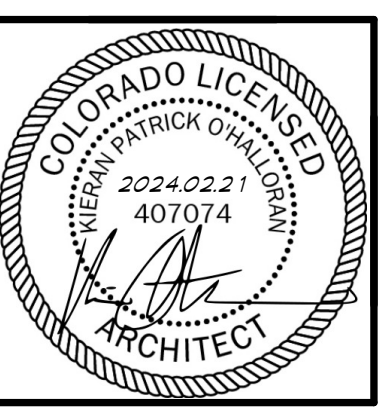
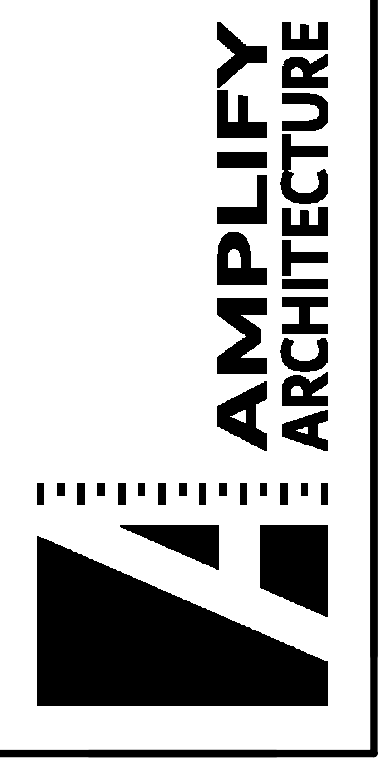


2 BLDG 1 SOUTH ELEV.
1/4" = 1'-0"



1 BLDG 1 NORTH ELEV.
1/4" = 1'-0"

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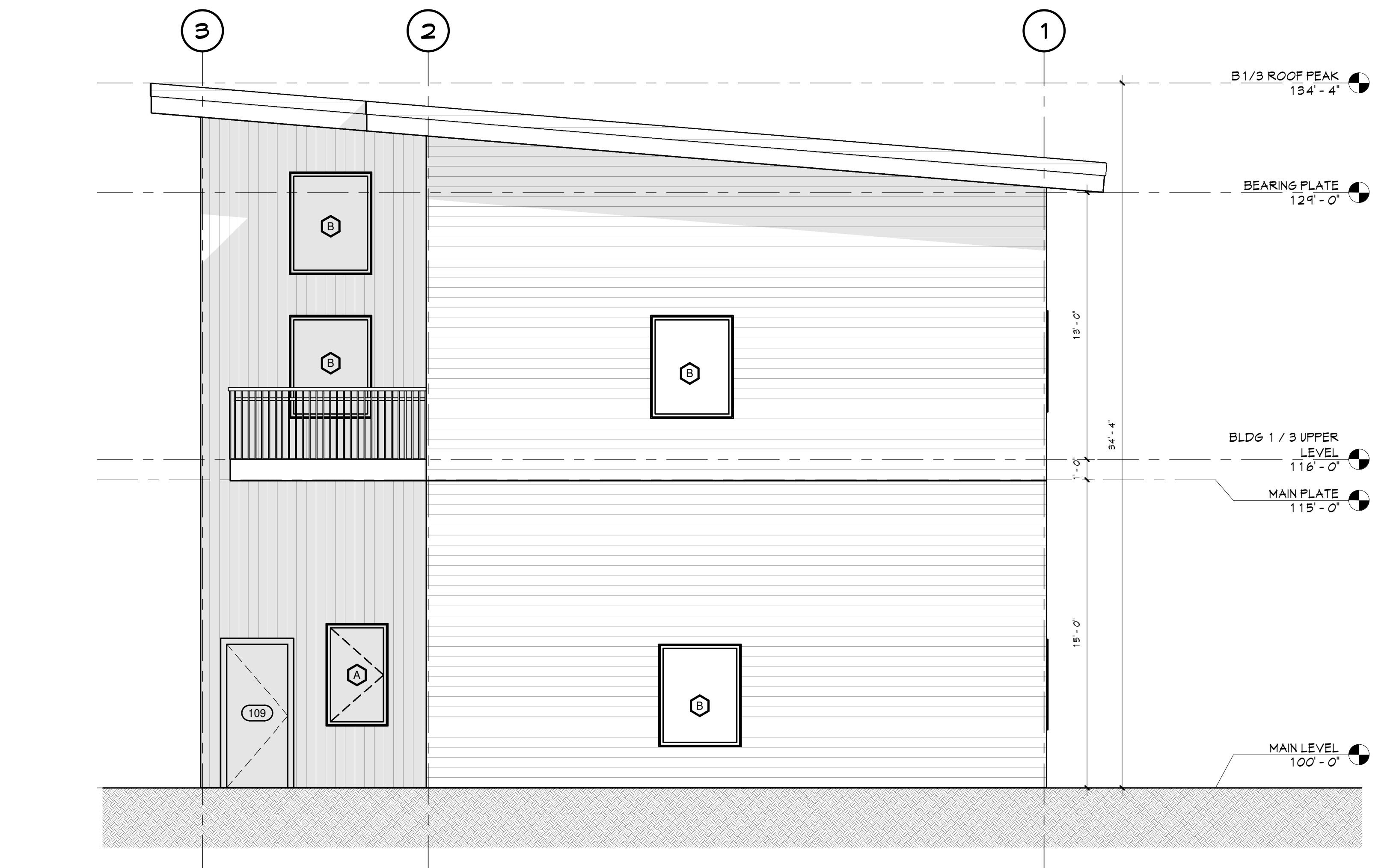


BLDG 1 ELEVATIONS FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

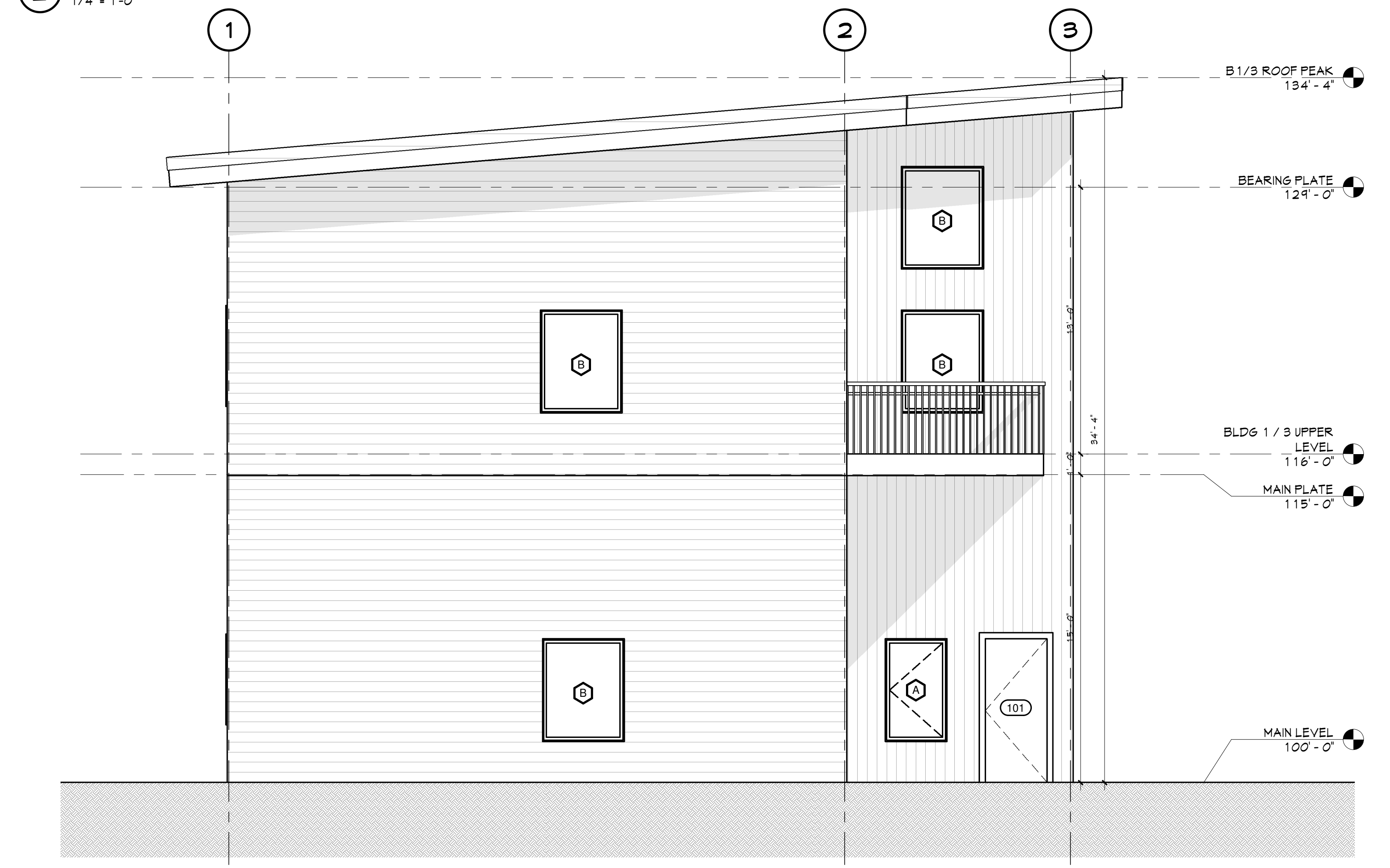
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Date 31JAN24
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Rev'd NFC

Sheet Number
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SHEET 7 OF 12

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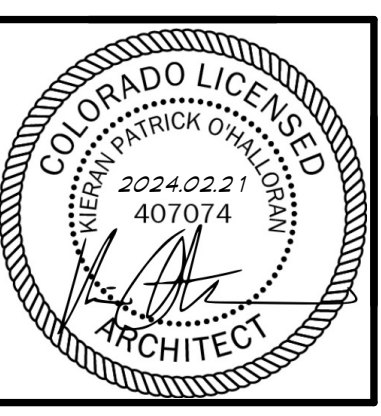
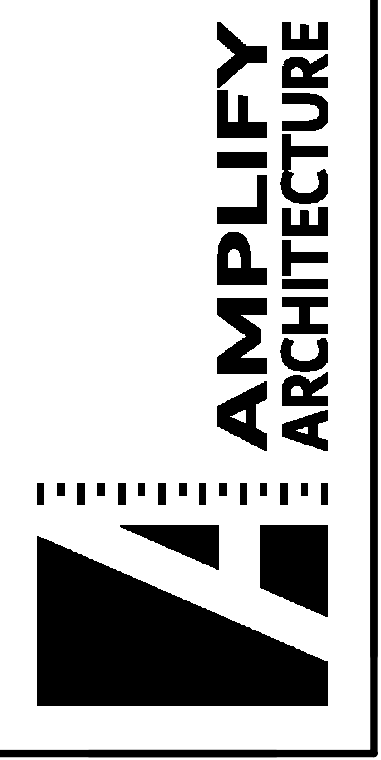


2 BLDG 1 WEST ELEV.
1/4" = 1'-0"



1 BLDG 1 EAST ELEV.
1/4" = 1'-0"

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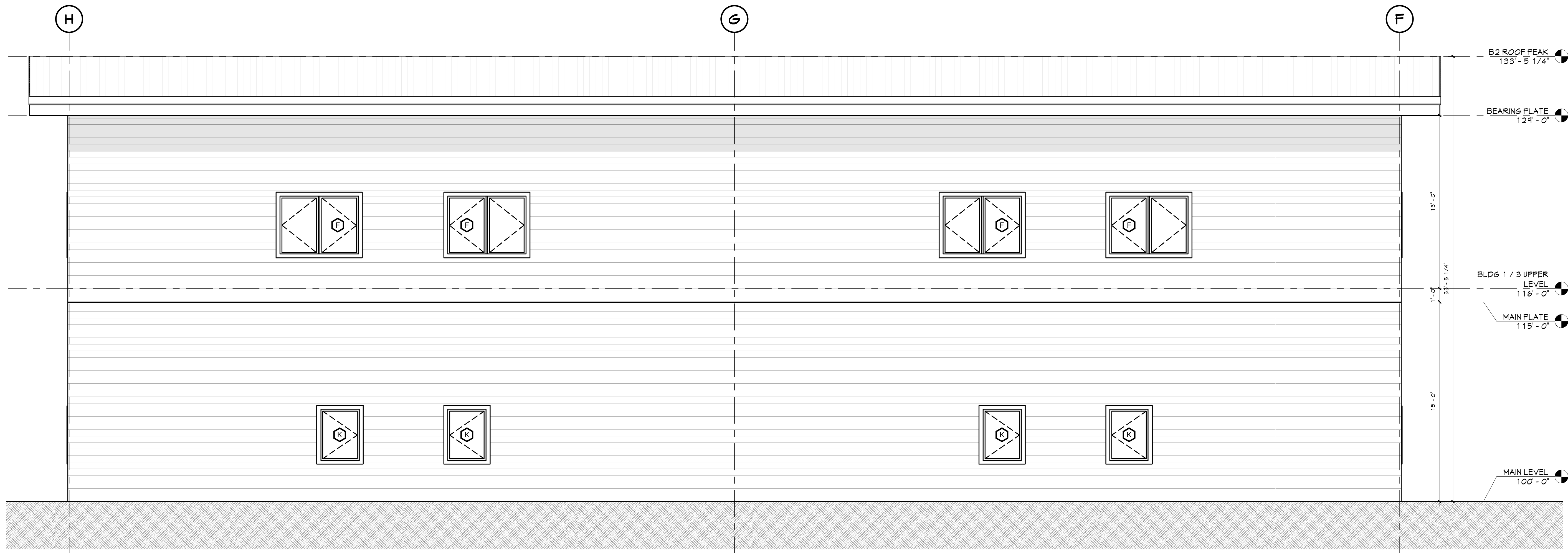


BY ELEVATIONS FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

Job #	22014
File	22014A21
Date	31 JAN 24
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SHEET 8 OF 12

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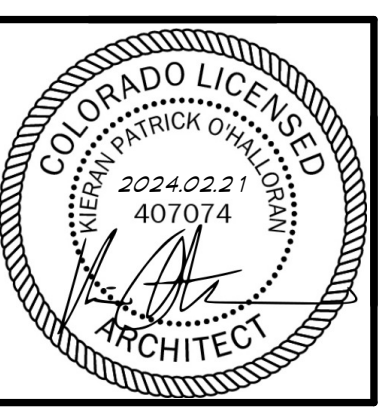
2 BLDG 2 SOUTH ELEV.
1/4" = 1'-0"



1 BLDG 2 NORTH ELEV.
1/4" = 1'-0"

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ARCHITECTURE

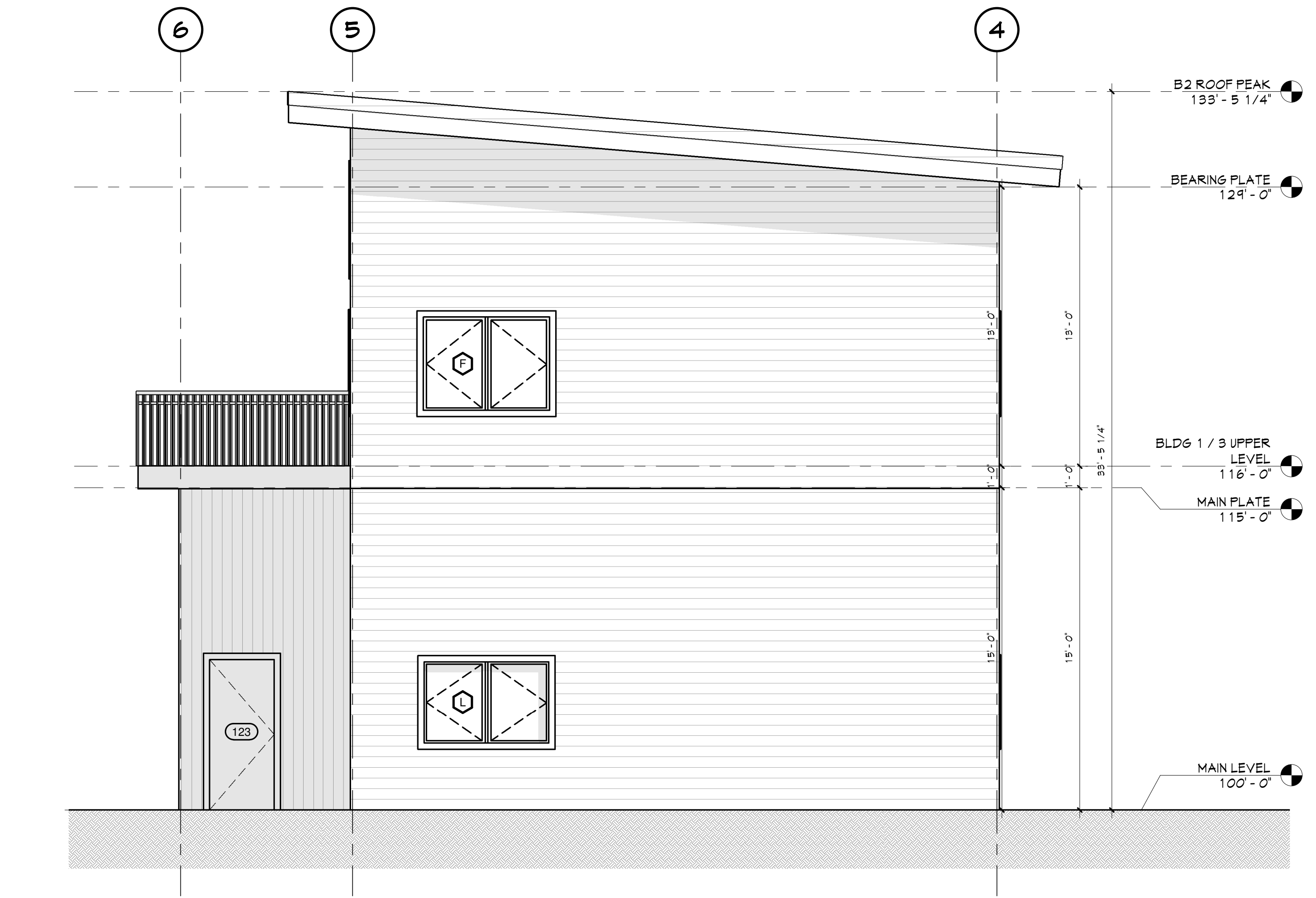


B2 ELEVATIONS FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

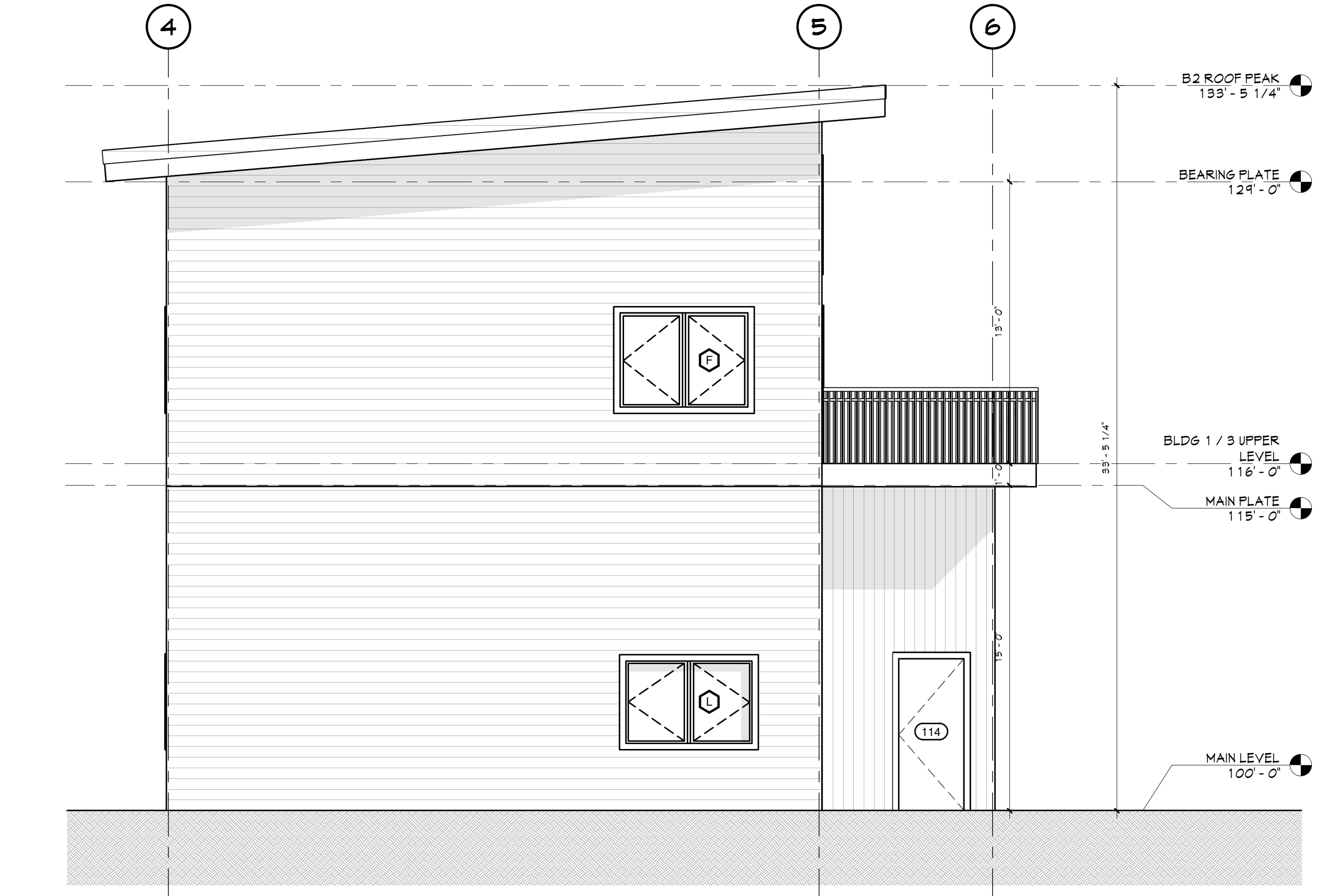
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SHEET 9 OF 12

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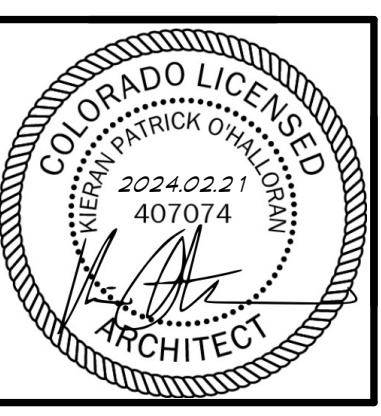
2 BLDG 2 WEST ELEV.
1/4" = 1'-0"



1 BLDG 2 EAST ELEV.
1/4" = 1'-0"

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 80587-9129

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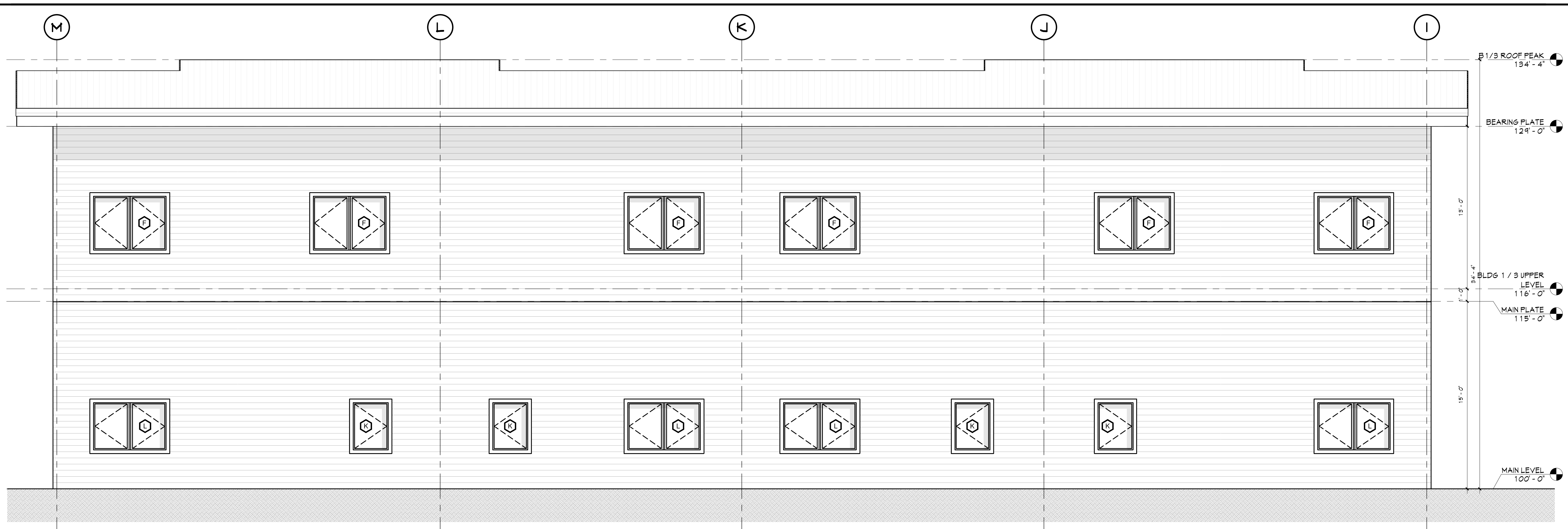


REVOLUTIONS FOR
the CARLSON CORNER LIVE/WORK
 821, 831 + 841 INDUSTRIAL AVE.
 HAYDEN COLORADO
 TBD

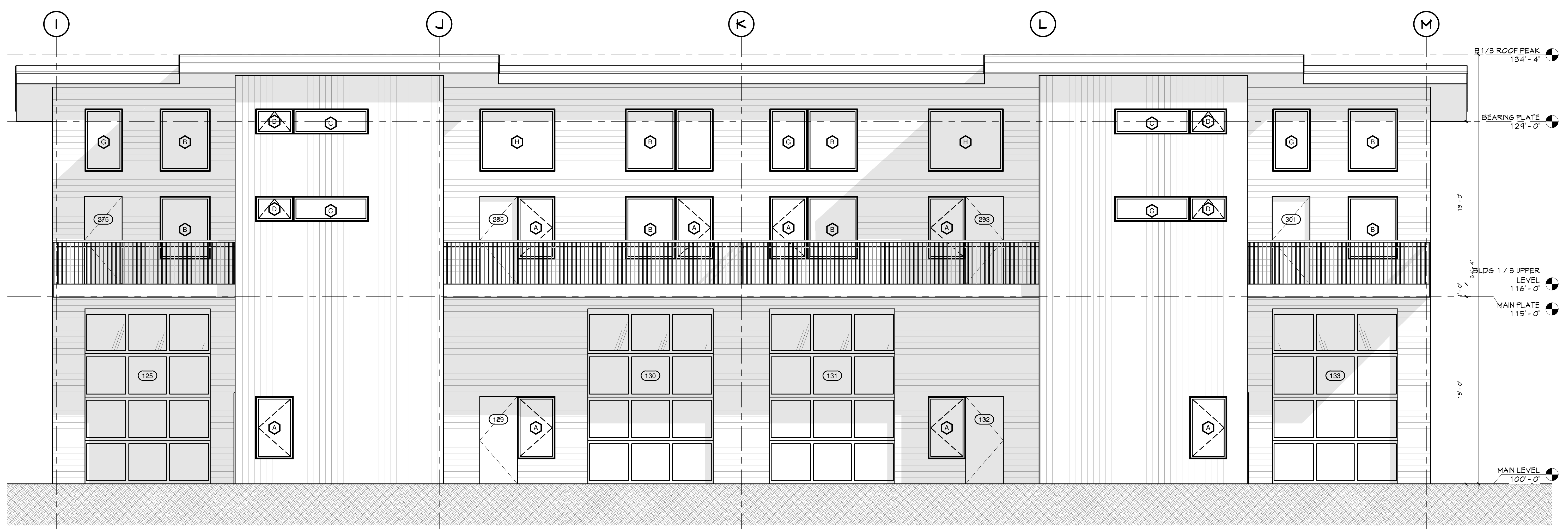
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File	22014A23
Date	31 JAN 24
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 SHEET 10 OF 12

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2 BLDG 3 SOUTH ELEV.
1/4" = 1'-0"



1 BLDG 3 NORTH ELEV.
1/4" = 1'-0"

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ARCHITECTURE

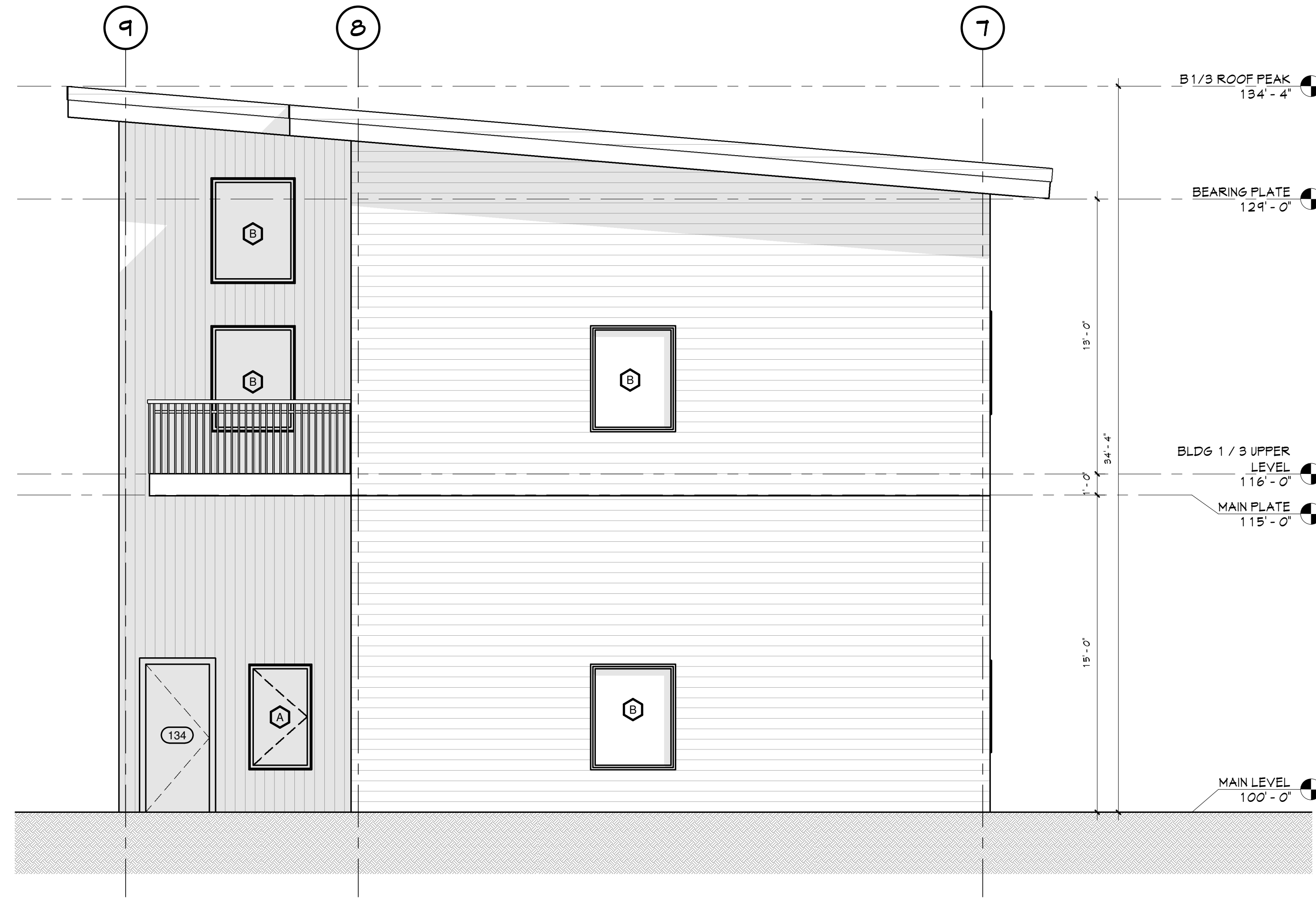


BB ELEVATIONS FOR
the CARLSON CORNER LIVE/WORK
821, 831 + 841 INDUSTRIAL AVE.
HAYDEN COLORADO
TBD

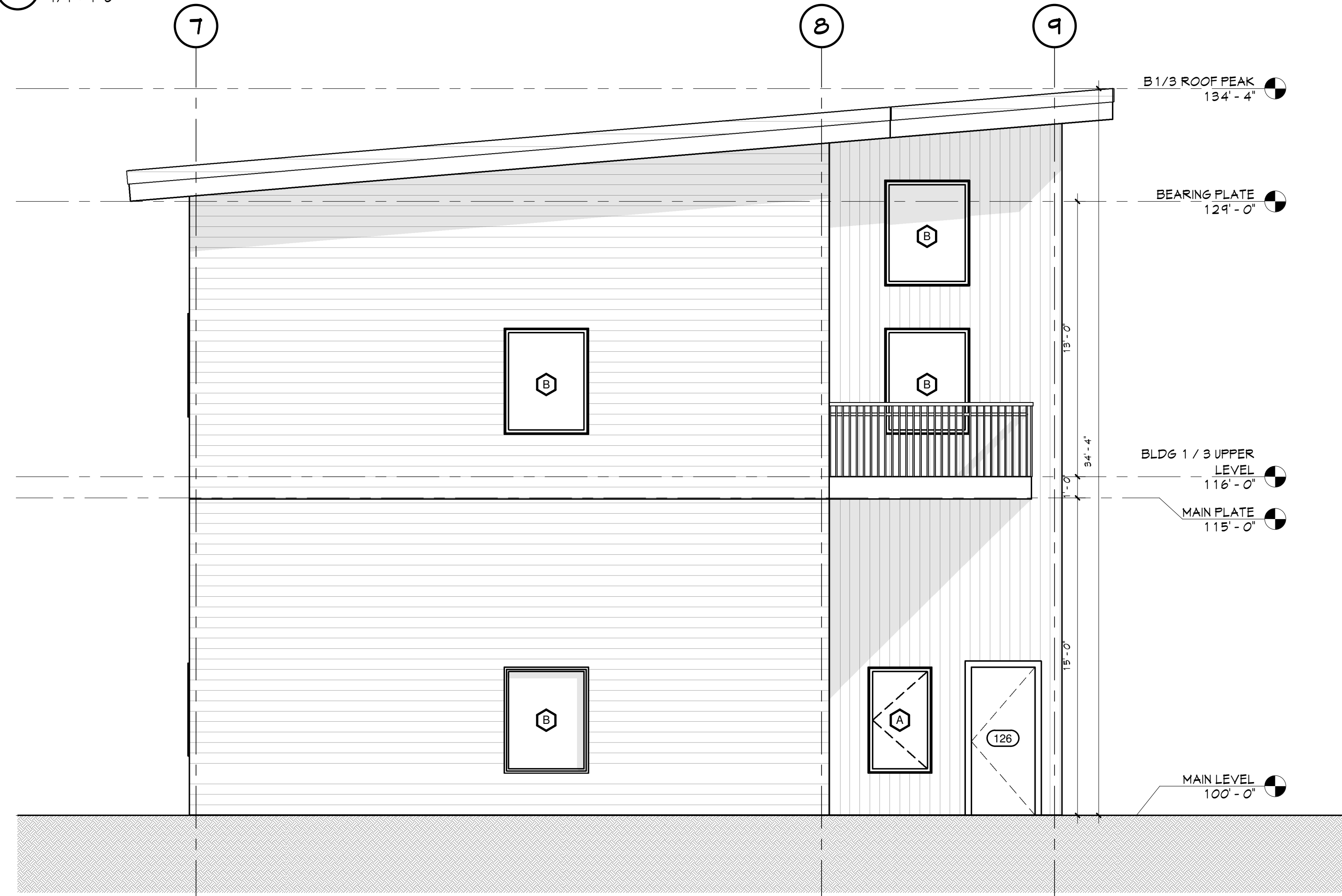
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Date 31JAN24
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Revd NFC

Sheet Number
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SHEET 11 OF 12

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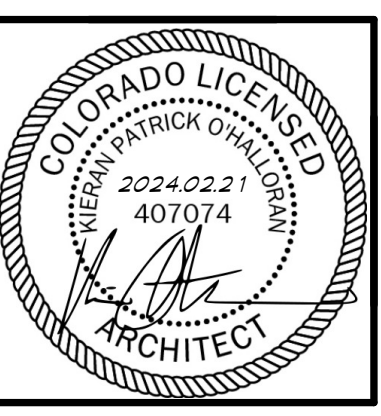


2 BLDG 3 WEST ELEV.
1/4" = 1'-0"



1 BLDG 3 EAST ELEV.
1/4" = 1'-0"

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BS ELEVATIONS FOR
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HAYDEN COLORADO
TBD

Job # 22014
File 22014A25
Date 31JAN24
Drawn KPO
Checked KPO
Revd NFC

Sheet Number
A2.5
SHEET 12 OF 12



Town of Hayden

Town Council Agenda Item

MEETING DATE: June 18, 2024

AGENDA ITEM TITLE: Consideration to Approve Yampa Valley Brewing Company change in liquor license

AGENDA SECTION: New Business

PRESENTED BY: Sharon Johnson

CAN THIS ITEM BE RESCHEDULED: Preferred not

BACKGROUND REVIEW: Yampa Valley Brewing Company is seeking to change the category of their liquor license. There is not a change in ownership, location or modification of premises. They are looking to change licenses from Manufacturer, Wholesaler and Sales Room to Brew Pub. This will allow the sell of other beverages other than their own and manufactured products. This is a business decision to improve choice of product for sale for the consumer. This change is being requested at the Craig and Steamboat locations.

RECOMMENDATION: As Town of Hayden Liquor Authority to waive the public hearing and approve the application from Yampa Valley Brewing Company for a Brew Pub License.

MANAGER'S RECOMMENDATION/COMMENTS:

Colorado Liquor Retail License Application

New License
 New-Concurrent
 Transfer of Ownership
 State Property Only
 Master file

• All answers must be printed in black ink or typewritten
 • Applicant must check the appropriate box(es)
 • Applicant should obtain a copy of the Colorado Liquor and Beer Code: SBG.Colorado.gov/Liquor

1. Applicant is applying as a/an
 Individual
 Limited Liability Company
 Association or Other
 Corporation
 Partnership (includes Limited Liability and Husband and Wife Partnerships)

2. Applicant If an LLC, name of LLC; if partnership, at least 2 partner's names; if corporation, name of corporation FEIN Number
Yampa Valley Brewing Company LLC **83-4672740**

2a. Trade Name of Establishment (DBA) State Sales Tax Number Business Telephone
Yampa Valley Brewing Company **30473953** **970-217-1503**

3. Address of Premises (specify exact location of premises, include suite/unit numbers)
200 N Walnut

City County State ZIP Code
Hayden **Routt** **81639**

4. Mailing Address (Number and Street) City or Town State ZIP Code
PO Box 1062 Hayden CO **81639**

5. Email Address
HR@yampavalleybrew.com, paul.brinkman@brinkmanpartners.com

6. If the premises currently has a liquor or beer license, you must answer the following questions

Present Trade Name of Establishment (DBA) Present State License Number Present Class of License Present Expiration Date
Yampa Valley Brewing Company **03-12345** **Manufacture** **01-07-25**

Section A Nonrefundable Application Fees*	Section B (Cont.) Liquor License Fees*
<input checked="" type="checkbox"/> Application Fee for New License.....\$1,100.00 <input type="checkbox"/> Application Fee for New License w/Concurrent Review\$1,200.00 <input type="checkbox"/> Application Fee for Transfer\$1,100.00	<input type="checkbox"/> Liquor-Licensed Drugstore (County)\$312.50 <input type="checkbox"/> Lodging & Entertainment - L&E (City)\$500.00 <input type="checkbox"/> Lodging & Entertainment - L&E (County)\$500.00 <input type="checkbox"/> Manager Registration - H & R\$30.00 <input type="checkbox"/> Manager Registration - Tavern\$30.00 <input type="checkbox"/> Manager Registration - Lodging & Entertainment.....\$30.00 <input type="checkbox"/> Manager Registration - Campus Liquor Complex\$30.00 <input type="checkbox"/> Optional Premises License (City).....\$500.00 <input type="checkbox"/> Optional Premises License (County)\$500.00 <input type="checkbox"/> Racetrack License (City).....\$500.00 <input type="checkbox"/> Racetrack License (County).....\$500.00 <input type="checkbox"/> Resort Complex License (City).....\$500.00 <input type="checkbox"/> Resort Complex License (County).....\$500.00 <input type="checkbox"/> Related Facility - Campus Liquor Complex (City).....\$160.00 <input type="checkbox"/> Related Facility - Campus Liquor Complex (County)\$160.00 <input type="checkbox"/> Related Facility - Campus Liquor Complex (State).....\$160.00 <input type="checkbox"/> Retail Gaming Tavern License (City)\$500.00 <input type="checkbox"/> Retail Gaming Tavern License (County).....\$500.00 <input type="checkbox"/> Retail Liquor Store License-Additional (City).....\$227.50 <input type="checkbox"/> Retail Liquor Store License-Additional (County).....\$312.50 <input type="checkbox"/> Retail Liquor Store (City).....\$227.50 <input type="checkbox"/> Retail Liquor Store (County).....\$312.50 <input type="checkbox"/> Tavern License (City)\$500.00 <input type="checkbox"/> Tavern License (County)\$500.00 <input type="checkbox"/> Vintners Restaurant License (City)\$750.00 <input type="checkbox"/> Vintners Restaurant License (County).....\$750.00
Section B Liquor License Fees* <input type="checkbox"/> Add Optional Premises to H & R.....\$100.00 X _____ Total _____ <input type="checkbox"/> Add Related Facility to Resort Complex \$75.00 X _____ Total _____ <input type="checkbox"/> Add Sidewalk Service Area.....\$75.00 <input type="checkbox"/> Arts License (City)\$308.75 <input type="checkbox"/> Arts License (County)\$308.75 <input type="checkbox"/> Beer and Wine License (City).....\$351.25 <input type="checkbox"/> Beer and Wine License (County).....\$436.25 <input checked="" type="checkbox"/> Brew Pub License (City)\$750.00 <input type="checkbox"/> Brew Pub License (County).....\$750.00 <input type="checkbox"/> Campus Liquor Complex (City).....\$500.00 <input type="checkbox"/> Campus Liquor Complex (County)\$500.00 <input type="checkbox"/> Campus Liquor Complex (State).....\$500.00 <input type="checkbox"/> Club License (City).....\$308.75 <input type="checkbox"/> Club License (County)\$308.75 <input type="checkbox"/> Distillery Pub License (City).....\$750.00 <input type="checkbox"/> Distillery Pub License (County)\$750.00 <input type="checkbox"/> Hotel and Restaurant License (City).....\$500.00 <input type="checkbox"/> Hotel and Restaurant License (County)\$500.00 <input type="checkbox"/> Hotel and Restaurant License w/one opt premises (City)\$600.00 <input type="checkbox"/> Hotel and Restaurant License w/one opt premises (County).....\$600.00 <input type="checkbox"/> Liquor-Licensed Drugstore (City)\$227.50	

* Note that the Division will not accept cash

Questions? Visit: SBG.Colorado.gov/Liquor for more information

Do not write in this space - For Department of Revenue use only

Liability Information

License Account Number	Liability Date	License Issued Through (Expiration Date)	Total \$
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Application Documents Checklist and Worksheet

Instructions: This checklist should be utilized to assist applicants with filing all required documents for licensure. All documents must be properly signed and correspond with the name of the applicant exactly. All documents must be typed or legibly printed. Upon final State approval the license will be mailed to the local licensing authority. Application fees are nonrefundable. **Questions? Visit: SBG.Colorado.gov/Liquor for more information**

Items submitted, please check all appropriate boxes completed or documents submitted	
I.	Applicant information <input checked="" type="checkbox"/> A. Applicant/Licensee identified <input checked="" type="checkbox"/> B. State sales tax license number listed or applied for at time of application <input checked="" type="checkbox"/> C. License type or other transaction identified <input checked="" type="checkbox"/> D. Return originals to local authority (additional items may be required by the local licensing authority) <input checked="" type="checkbox"/> E. All sections of the application need to be completed <input type="checkbox"/> F. Master file applicants must include the Application for Master File form DR 8415 and applicable fees to this Retail License Application
II.	Diagram of the premises <input checked="" type="checkbox"/> A. No larger than 8½" X 11" <input checked="" type="checkbox"/> B. Dimensions included (does not have to be to scale). Exterior areas should show type of control (fences, walls, entry/exit points, etc.) <input type="checkbox"/> C. Separate diagram for each floor (if multiple levels) <input type="checkbox"/> D. Kitchen - identified if Hotel and Restaurant <input checked="" type="checkbox"/> E. Bold/Outlined Licensed Premises
III.	Proof of property possession (One Year Needed) <input type="checkbox"/> A. Deed in name of the applicant (or) (matching question #2) date stamped / filed with County Clerk <input checked="" type="checkbox"/> B. Lease in the name of the applicant (or) (matching question #2) <input type="checkbox"/> C. Lease assignment in the name of the applicant with proper consent from the landlord and acceptance by the applicant <input type="checkbox"/> D. Other agreement if not deed or lease. (matching question #2)
IV.	Background information (DR 8404-I) and financial documents <input type="checkbox"/> A. Complete DR 8404-I for each principal (individuals with more than 10% ownership, officers, directors, partners, members) <input checked="" type="checkbox"/> B. Fingerprints taken and submitted to the appropriate Local Licensing Authority through an approved State Vendor. Master File applicants submit results to the State using code 25YQHT with Identogo. Do not complete fingerprint cards prior to submitting your application. The Vendors are as follows: Identogo – https://uenroll.identogo.com/ Phone: 844-539-5539 (toll-free) Colorado Fingerprinting – http://www.coloradofingerprinting.com Appointment Scheduling Website: http://www.coloradofingerprinting.com/cabs/ Phone: 720-292-2722 Toll Free: 833-224-2227 Details about the vendors and fingerprinting in Colorado can be found on CBI's website here: https://cbi.colorado.gov/sections/biometric-identification-and-records-unit/employment-and-background-checks <input type="checkbox"/> C. Purchase agreement, stock transfer agreement, and/or authorization to transfer license <input type="checkbox"/> D. List of all notes and loans (Copies to also be attached)
V.	Sole proprietor/husband and wife partnership (if applicable) <input type="checkbox"/> A. Form DR 4679 <input type="checkbox"/> B. Copy of State issued Driver's License or Colorado Identification Card for each applicant
VI.	Corporate applicant information (if applicable) <input type="checkbox"/> A. Certificate of Incorporation <input type="checkbox"/> B. Certificate of Good Standing <input type="checkbox"/> C. Certificate of Authorization if foreign corporation (out of state applicants only)
VII.	Partnership applicant information (if applicable) <input type="checkbox"/> A. Partnership Agreement (general or limited). <input type="checkbox"/> B. Certificate of Good Standing
VIII.	Limited Liability Company applicant information (if applicable) <input checked="" type="checkbox"/> A. Copy of articles of organization <input checked="" type="checkbox"/> B. Certificate of Good Standing <input checked="" type="checkbox"/> C. Copy of Operating Agreement (if applicable) <input type="checkbox"/> D. Certificate of Authority if foreign LLC (out of state applicants only)
IX.	Manager registration for Hotel and Restaurant, Tavern, Lodging & Entertainment, and Campus Liquor Complex licenses when included with this application <input type="checkbox"/> A. \$30.00 fee <input type="checkbox"/> B. If owner is managing, no fee required

Name Yampa Valley Brewing Company	Type of License Brew Pub	Account Number		
7. Is the applicant (including any of the partners if a partnership; members or managers if a limited liability company; or officers, stockholders or directors if a corporation) or managers under the age of twenty-one years?		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
8. Has the applicant (including any of the partners if a partnership; members or managers if a limited liability company; or officers, stockholders or directors if a corporation) or managers ever (in Colorado or any other state):				
a. Been denied an alcohol beverage license?		<input type="checkbox"/> <input checked="" type="checkbox"/>		
b. Had an alcohol beverage license suspended or revoked?		<input type="checkbox"/> <input checked="" type="checkbox"/>		
c. Had interest in another entity that had an alcohol beverage license suspended or revoked?		<input type="checkbox"/> <input checked="" type="checkbox"/>		
If you answered yes to 8a, b or c, explain in detail on a separate sheet.				
9. Has a liquor license application (same license class), that was located within 500 feet of the proposed premises, been denied within the preceding two years? If "yes", explain in detail.		<input type="checkbox"/> <input checked="" type="checkbox"/>		
10. Are the premises to be licensed within 500 feet, of any public or private school that meets compulsory education requirements of Colorado law, or the principal campus of any college, university or seminary?		<input type="checkbox"/> <input checked="" type="checkbox"/>		
Waiver by local ordinance?		<input type="checkbox"/> <input type="checkbox"/>		
Other: _____				
11. Is your Liquor Licensed Drugstore (LLDS) or Retail Liquor Store (RLS) within 1500 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of greater than (>) 10,000? NOTE: The distance shall be determined by a radius measurement that begins at the principal doorway of the LLDS/RLS premises for which the application is being made and ends at the principal doorway of the Licensed LLDS/RLS.		<input type="checkbox"/> <input type="checkbox"/>		
12. Is your Liquor Licensed Drugstore (LLDS) or Retail Liquor Store (RLS) within 3000 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of less than (<) 10,000? NOTE: The distance shall be determined by a radius measurement that begins at the principal doorway of the LLDS/RLS premises for which the application is being made and ends at the principal doorway of the Licensed LLDS/RLS.		<input type="checkbox"/> <input type="checkbox"/>		
13. a. For additional Retail Liquor Store only. Was your Retail Liquor Store License issued on or before January 1, 2016?		<input type="checkbox"/> <input type="checkbox"/>		
b. Are you a Colorado resident?		<input checked="" type="checkbox"/> <input type="checkbox"/>		
14. Has a liquor or beer license ever been issued to the applicant (including any of the partners, if a partnership; members or manager if a Limited Liability Company; or officers, stockholders or directors if a corporation)? If yes, identify the name of the business and list any <u>current</u> financial interest in said business including any loans to or from a licensee.		<input checked="" type="checkbox"/> <input type="checkbox"/>		
15. Does the applicant, as listed on line 2 of this application, have legal possession of the premises by ownership, lease or other arrangement?		<input checked="" type="checkbox"/> <input type="checkbox"/>		
<input type="checkbox"/> Ownership <input checked="" type="checkbox"/> Lease <input type="checkbox"/> Other (Explain in Detail) _____ a. If leased, list name of landlord and tenant, and date of expiration, exactly as they appear on the lease:				
Landlord	Tenant	Expires		
200 Walnut Granary, LLC	Yampa Valley Brewing Company LLC	12-31-26		
b. Is a percentage of alcohol sales included as compensation to the landlord? If yes, complete question 16.		<input type="checkbox"/> <input checked="" type="checkbox"/>		
c. Attach a diagram that designates the area to be licensed in black bold outline (including dimensions) which shows the bars, brewery, walls, partitions, entrances, exits and what each room shall be utilized for in this business. This diagram should be no larger than 8½" X 11".				
16. Who, besides the owners listed in this application (including persons, firms, partnerships, corporations, limited liability companies) will loan or give money, inventory, furniture or equipment to or for use in this business; or who will receive money from this business? Attach a separate sheet if necessary.				
Last Name	First Name	Date of Birth	FEIN or SSN	Interest/Percentage
Last Name	First Name	Date of Birth	FEIN or SSN	Interest/Percentage
Attach copies of all notes and security instruments and any written agreement or details of any oral agreement, by which any person (including partnerships, corporations, limited liability companies, etc.) will share in the profit or gross proceeds of this establishment, and any agreement relating to the business which is contingent or conditional in any way by volume, profit, sales, giving of advice or consultation.				
17. Optional Premises or Hotel and Restaurant Licenses with Optional Premises:				
Has a local ordinance or resolution authorizing optional premises been adopted?		<input type="checkbox"/> <input type="checkbox"/>		
Number of additional Optional Premise areas requested. (See license fee chart)				
18. For the addition of a Sidewalk Service Area per Regulation 47-302(A)(4), include a diagram of the service area and documentation received from the local governing body authorizing use of the sidewalk. Documentation may include but is not limited to a statement of use, permit, easement, or other legal permissions.				

Name Yampa Valley Brewing Company	Type of License Brew Pub	Account Number
--------------------------------------	-----------------------------	----------------

19. Liquor Licensed Drugstore (LLDS) applicants, answer the following:
a. Is there a pharmacy, licensed by the Colorado Board of Pharmacy, located within the applicant's LLDS premise?
If "yes" a copy of license must be attached.

20. Club Liquor License applicants answer the following: **Attach a copy of applicable documentation** Yes No
a. Is the applicant organization operated solely for a national, social, fraternal, patriotic, political or athletic purpose and not for pecuniary gain?
b. Is the applicant organization a regularly chartered branch, lodge or chapter of a national organization which is operated solely for the object of a patriotic or fraternal organization or society, but not for pecuniary gain?
c. How long has the club been incorporated?
d. Has applicant occupied an establishment for three years (three years required) that was operated solely for the reasons stated above?

21. Brew-Pub, Distillery Pub or Vintner's Restaurant applicants answer the following:
a. Has the applicant received or applied for a Federal Permit? (Copy of permit or application must be attached)

22. Campus Liquor Complex applicants answer the following:
a. Is the applicant an institution of higher education?
b. Is the applicant a person who contracts with the institution of higher education to provide food services?
If "yes" please provide a copy of the contract with the institution of higher education to provide food services.

23. For all on-premises applicants.
a. For all Liquor Licensed Drugstores (LLDS) the Permitted Manager must also submit a Manager Permit Application - DR 8000 and fingerprints.

Last Name of Manager Brinkman	First Name of Manager Paul
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24. Does this manager act as the manager of, or have a financial interest in, any other liquor licensed establishment in the State of Colorado? If yes, provide name, type of license and account number. Yes No

25. Related Facility - Campus Liquor Complex applicants answer the following:
a. Is the related facility located within the boundaries of the Campus Liquor Complex?
If yes, please provide a map of the geographical location within the Campus Liquor Complex.
If no, this license type is not available for issues outside the geographical location of the Campus Liquor Complex.
b. Designated Manager for Related Facility- Campus Liquor Complex

Last Name of Manager	First Name of Manager
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26. Tax Information. Yes No
a. Has the applicant, including its manager, partners, officer, directors, stockholders, members (LLC), managing members (LLC), or any other person with a 10% or greater financial interest in the applicant, been found in final order of a tax agency to be delinquent in the payment of any state or local taxes, penalties, or interest related to a business?
b. Has the applicant, including its manager, partners, officer, directors, stockholders, members (LLC), managing members (LLC), or any other person with a 10% or greater financial interest in the applicant failed to pay any fees or surcharges imposed pursuant to section 44-3-503, C.R.S.?

27. If applicant is a corporation, partnership, association or limited liability company, applicant must list all **Officers, Directors, General Partners, and Managing Members**. In addition, applicant must list any stockholders, partners, or members with **ownership of 10% or more in the applicant**. All persons listed below must also attach form DR 8404-I (Individual History Record), and make an appointment with an approved State Vendor through their website. See application checklist, Section IV, for details.


Name	Home Address, City & State	DOB	Position	%Owned
Paul Brinkman	29855 Emerald Meadows, SS CO	10/24/73	Owner	100
Name	Home Address, City & State	DOB	Position	%Owned
Name	Home Address, City & State	DOB	Position	%Owned
Name	Home Address, City & State	DOB	Position	%Owned
Name	Home Address, City & State	DOB	Position	%Owned

Name Yampa Valley Brewing Company	Type of License Brew Pub	Account Number
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** If applicant is owned 100% by a parent company, please list the designated principal officer on above.
 ** Corporations - the President, Vice-President, Secretary and Treasurer must be accounted for above (Include ownership percentage if applicable)
 ** If total ownership percentage disclosed here does not total 100%, applicant must check this box:
 Applicant affirms that no individual other than these disclosed herein owns 10% or more of the applicant and does not have financial interest in a prohibited liquor license pursuant to Article 3 or 5, C.R.S.

Oath Of Applicant

I declare under penalty of perjury in the second degree that this application and all attachments are true, correct, and complete to the best of my knowledge. I also acknowledge that it is my responsibility and the responsibility of my agents and employees to comply with the provisions of the Colorado Liquor or Beer Code which affect my license.

Authorized Signature 	Printed Name and Title Paul Brinkman Owner	Date 5/14/24
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Report and Approval of Local Licensing Authority (City/County)

Date application filed with local authority	Date of local authority hearing (for new license applicants; cannot be less than 30 days from date of application)
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The Local Licensing Authority Hereby Affirms that each person required to file DR 8404-I (Individual History Record) or a DR 8000 (Manager Permit) has been:

- Fingerprinted
- Subject to background investigation, including NCIC/CCIC check for outstanding warrants

That the local authority has conducted, or intends to conduct, an inspection of the proposed premises to ensure that the applicant is in compliance with and aware of, liquor code provisions affecting their class of license

(Check One)

- Date of inspection or anticipated date _____
- Will conduct inspection upon approval of state licensing authority

- | | | |
|---|------------------------------|-----------------------------|
| <input type="checkbox"/> Is the Liquor Licensed Drugstore (LLDS) or Retail Liquor Store (RLS) within 1,500 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of > 10,000? | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| <input type="checkbox"/> Is the Liquor Licensed Drugstore(LLDS) or Retail Liquor Store (RLS) within 3,000 feet of another retail liquor license for off-premises sales in a jurisdiction with a population of < 10,000? | <input type="checkbox"/> | <input type="checkbox"/> |
| NOTE: The distance shall be determined by a radius measurement that begins at the principal doorway of the LLDS/RLS premises for which the application is being made and ends at the principal doorway of the Licensed LLDS/RLS. | | |
| <input type="checkbox"/> Does the Liquor-Licensed Drugstore (LLDS) have at least twenty percent (20%) of the applicant's gross annual income derived from the sale of food, during the prior twelve (12) month period? | <input type="checkbox"/> | <input type="checkbox"/> |

The foregoing application has been examined; and the premises, business to be conducted, and character of the applicant are satisfactory. We do report that such license, if granted, will meet the reasonable requirements of the neighborhood and the desires of the adult inhabitants, and will comply with the provisions of Title 44, Article 4 or 3, C.R.S., and Liquor Rules. **Therefore, this application is approved.**

Local Licensing Authority for	Telephone Number	<input type="checkbox"/> Town, City	<input type="checkbox"/> County
Signature	Print	Title	Date
Signature	Print	Title	Date



**TOWN OF HAYDEN
LIQUOR LICENSING AUTHORITY
FINDINGS OF FACT**

Owner Name and Address: Paul Brinkman
PO Box 770373, Steamboat Springs, CO 80477

Establishment Name and Address: Yampa Valley Brewing CO, LLC
DBA Yampa Valley Brewing Company
200 N Walnut
Hayden, CO 81639

TO THE ABOVE APPLICANT AND OTHER INTERESTED PARTIES;

Pursuant to Colorado Revised Statutes 44-3-301, the board is hereby advised that with regard to the application for a Brew Pub License, an investigation has been made, and based on the results thereof, the following has been determined:

- That the application was filed on May 16, 2024 in the Town Clerk's office and a hearing has been scheduled for Tuesday, June 18, 2024. In accordance with C.R.S. 4-3-311(1) the Town must hold the application for not less than 30 days prior to the hearing; the liquor authority may waive the public hearing as a Manufacturer's, Wholesale and Sales Room license is currently held at this location.
- That the premises being considered has operated with a Manufacturer's License, a Wholesaler's License and a Sales Room License. This location will be a Brew Pub held by the existing licensee just changing the category/type of license.
- That, from the evidence submitted, the applicant is leasing the premises where the proposed liquor license will be utilized from, Yampa Valley brewing company, LLC, a Colorado Limited Liability Company and 200 Walnut Granary, LLC , a Colorado Limited Liability Company is the lawful owner(s) of the premises.
- That manufacturing and selling liquor in the manner currently proposed in the application is permitted in the Commercial Business District (CBD) as a conditional use approved by the Town Council following review and recommendation(s) by the Planning Commission and the holding of a public hearing by the Town Council. The Planning Commission reviewed the Conditional Use application and the criteria of the Hayden Town Code Section 6.03.070.C and made the recommendation to approve the CUP. This conditional use permit remains with the property unless the use of the property changes.
- That pursuant to C.R.S. 44-3-313(1)(d), restrictions for applications for new license, the building where the applicant proposes to exercise the privilege of selling liquor at retail does not appear to be within 500 feet from any public or parochial school of any college, university or seminary.

- That pursuant to 44-3-402 through 44-3-422 a person owning or having 50% or more interest in designated retail licenses may not own or have 50% or more interest in designated wholesale licenses. The applicant is looking to change the license category of all licenses owned in Hayden, Steamboat Springs and Craig.
- That the applicant has been fingerprinted with the existing license. The applicant has declared under penalty of perjury that he has not been convicted of a crime or received a suspended sentence, deferred sentence or forfeited bail for offense in a criminal or military court and does not have any charges pending, including arrests for DUI and DWAI.

The hearing for this application will be held on Tuesday, June 18, 2024 at approximately 7:30 p.m. in the Meeting Room of the Hayden Town Hall, 178 West Jefferson Avenue, Hayden, Colorado.

MULTIPLE INTERESTS

**Spaces marked with a “●” denote lawful financial interests among types of licenses.
 Spaces which are blank denote unlawful financial interests among types of licenses.**

Example: a person owning or having a financial interest in a hotel and restaurant license can own or have an interest in a tavern license or in other hotel and restaurant licenses; but he/she may not own or have an interest in a retail liquor store license.		Mini Bar Permit	Bed & Breakfast Permits	Art Gallery Permit	Manufacturer (Spirits)*	Manufacturer (Wine)*	Manufacturer (Beer)	Limited Winery	Nonresident Manufacturer (Beer)	Importer (Wine & Spirits)	Importer (Beer)	Wholesale (Beer)	Wholesale (Wine & Spirits)*	R E T A I L																								
															Brew Pub	Retail Liquor Store	Liquor Licensed Drug Store	Beer & Wine	Hotel & Restaurant	Tavern	Club**	Arts	Race Track	Public Transportation-Air	Public Transportation-Surface	Optional Premises License	Retail Gaming Tavern	Vintner's Restaurant										
	Mini Bar Permit	●																●																				
	Bed & Breakfast Permits		●												●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●		
	Art Gallery Permit			●											●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●		
	Manufacturer (Spirits)*				●	●	●	●	●	●	●	●	●																									
	Manufacturer (Wine)*				●	●	●	●	●	●	●	●	●																									
	Manufacturer (Beer)				●	●	●	●	●	●	●	●	●																									
	Limited Winery				●	●	●	●	●	●	●	●	●																									
	Nonresident Manufacturer (Beer)				●	●	●	●	●	●	●	●	●																									
	Importer (Wine & Spirits)				●	●	●	●	●	●	●	●	●																									
	Importer (Beer)				●	●	●	●	●	●	●	●	●																									
	Wholesale (Beer)				●	●	●	●	●	●	●	●	●																									
	Wholesale (Wine & Spirits)*				●	●	●		●	●	●	●	●																									
R E T A I L	Brew Pub		●	●										●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
	Retail Liquor Store																					●		●														
	Liquor Licensed Drug Store																					●		●														
	Beer & Wine		●	●											●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
	Hotel & Restaurant		●	●	●										●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
	Tavern		●	●											●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
	Club**																						●		●													
	Arts		●	●											●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
	Race Track		●	●											●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
	Public Transportation-Air		●	●											●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
	Public Transportation-Surface		●	●											●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
	Optional Premises License		●	●											●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
Retail Gaming Tavern		●	●											●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
Vintner's Restaurant		●	●											●			●	●	●			●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	

* Manufacturers of vinous and spirituous liquor may hold a wholesale license only for products of their own manufacture; pursuant to AG opinion.
 ** Any Colorado liquor licensee may be an officer or director of entity holding a club license, as long as such person does not individually manage or receive any financial benefit from the club.