



AGENDA
HAYDEN PLANNING COMMISSION
THURSDAY, JANUARY 26, 2023
7:00 P.M.
HAYDEN TOWN HALL – 178 WEST JEFFERSON AVENUE, HAYDEN

REGULAR MEETING

1. CALL TO ORDER, MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. CONSIDERATION OF MINUTES
Review and Consider Approval of January 12, 2023 Planning Commission Minutes
5. SITE PLAN AND CONDITIONAL USE PERMIT APPLICATION – ALMARAS VENTURES, 461 CAPITAL STREET
 - i. Review and consideration for approval of a Site Plan to construct an approximately 3,000 square foot shop structure and two (2) live/work units on Lot 34, Valley View Business Park.
 - ii. Review and consideration for recommendation of approval of a conditional use permit for two (2) live/work units on Lot 34, Valley View Business Park.
7. STAFF REPORT
8. ADJOURNMENT

NOTICE: Agenda is subject to change up to 24 hours before scheduled meeting. If you require special assistance in order to attend any of the Town's public meetings or events, please notify the Town of Hayden at (970) 276-3741 at least 48 hours in advance of the scheduled event so the necessary arrangements can be made.



Town of Hayden

Planning Commission Agenda Item

MEETING DATE: January 26, 2023

AGENDA ITEM TITLE: Public Hearing: Almaras Ventures, shop & live/work
Site Plan & Conditional Use Permit
461 Capital Street, Hayden

AGENDA SECTION: New Business

PRESENTED BY: Tegan Ebbert
Community Development Director

APPLICANT: Emmanuelle Almaras, Owner and Yampa Valley
Engineering, applicant.

CAN THIS ITEM BE RESCHEDULED: Not recommended.

ATTACHMENTS: Applicant Narrative
Site plan, elevation, floor plan

BACKGROUND REVIEW:

Emmanuelle Almaras is the owner of Almaras Ventures, LLC and Mountain High Mechanical, LLC. In November 2021, Almaras Ventures, LLC purchased Lot 34, Valley View Business Park, a parcel containing 0.44 acres, and is now requesting to develop the vacant lot.

The request is to construct an approximately 3,000 square foot industrial shop to house his mechanical business and two (2) attached live/work units on the subject property. The live/work units will function as rentals, the property owner is not pursuing a subdivision in order to divide ownership of the property at this time.

The shop portion of the development is proposed to house an open shop floor, one ADA compliant unisex bathroom, a meeting/break room with kitchenette, storage, and a mezzanine/loft area. The shop is depicted to have one large bay door and a man door for access. Architecturally, the shop portion of the structure has wainscoting and windows to break up the mass of the structure.

Each live/work unit will contain approximately 1,000 square feet of garage/workspace with a powder room on the first floor. The second floor of each unit is proposing a two-bedroom, two-bathroom dwelling unit layout. Each unit contains garage area for two vehicles to be parked indoors.

COMPLIANCE WITH HAYDEN FORWARD MASTER PLAN:

Section 7.16.020(f)(1)(iii) of the Hayden Development Code (Code) states that “[t]he reviewing authority shall review development applications for compliance with all relevant standards and criteria as set forth in the specific procedures for the particular application in [the Code]” as well as general criteria which apply including compliance “with the goals and policies of the Master Plan” (Plan). Therefore, any proposal should be considered in light of the applicable policies of the Plan. While the Plan contains numerous policies regarding land use and development, staff has selected the following checklist to highlight the policies most directly applicable to this application. Interested parties are encouraged to review the Plan to determine if there are other policies that may be applicable to the review of this application.

Housing & Neighborhood Elements

Complies		Section	Policies
Yes	No		
<u> √ </u>	<u> </u>	HE.HL1.2	Promote development of housing for the local workforce, including multi-family, duplex, single-family and alternative housing types. <i>Staff comment: The proposed two live/work rental units are a diversity of housing type to support local workforce and entrepreneurs.</i>

Resilient Economy

<u> √ </u>	<u> </u>	RE.ED3.5	Support efforts that expand the area’s commercial base, growing Town revenues, and providing essential services for residents, while also reducing spending beyond the market. <i>Staff comment: The proposed development will bring a home base for a local company to operate from and provide our community members with the opportunity to utilize local services.</i>
<u> √ </u>	<u> </u>	RE.ED4.1	Recruit tenants to the Valley View industrial Park and other underutilized areas of Town. <i>Staff comment: The proposed development is the type of occupant that the subdivision was envisioned to have when the property was platted and zoned Light Industrial.</i>

√ RE.FE1.3 Provide an efficient review and approvals process that creates a supportive business environment.

COMPLIANCE WITH THE TOWN OF HAYDEN DEVELOPMENT CODE

While the Hayden Development Code (Code) contains numerous regulations regarding land use, staff has selected the following checklist to highlight the regulations directly applicable to this application. Interested parties are encouraged to review the Code to determine if there are other regulations that may be applicable to the review of this application.

Chapter 7.16 – Development Review Procedures

Section 7.16.060 – Conditional Use.

In order to provide flexibility and to help diversify uses within a zoning district, specified uses are permitted in certain districts subject to the granting subject to the granting of a conditional use permit. Specific conditional uses for each zone district are listed in the Table of permitted and conditional uses by Zoning District. Because of their unusual or special characteristics, conditional uses require review and evaluation so that they may be located properly with respect to their effects on surrounding properties. The review process prescribed in this Section is intended to assure compatibility and harmonious development between conditional uses, surrounding properties and the Town at large. Conditional uses may be permitted subject to such conditions and limitations as the Town may prescribe to ensure that the location and operation of the conditional uses will be in accordance with the conditional use criteria. The scope and elements of any conditional use may be limited or qualified by the conditions applicable to the specific property. Where conditions cannot be devised to achieve these objectives, applications for conditional use permits shall be denied.

Complies	Section
Yes No	
<u> √ </u> _____	(b) Review Criteria. The Planning Commission and Council shall use the following review criteria as the basis for recommendations and decisions on applications for conditional uses:
	(1) The proposed conditional use is consistent with the Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations. <i>Staff comment: See the analysis herein. A finding is this regard is recommended below.</i>
	(2) The proposed conditional use is compatible with the purpose and

- √ _____ intent of the zoning district in which it is located and any applicable use-specified standards in the Development Code. *Staff comment: See the analysis herein. A finding in this regard is recommended below.*
- √ _____ (3) The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics. *Staff comment: The subdivision in which the subject parcel is located contains identical uses to the plans the applicant has proposed. The proposal contains appropriate and expected uses in this area. A finding in this regard is recommended below.*
- √ _____ (4) The proposed conditional use will not substantially alter the basic character of the district in which it is in or jeopardize the development or redevelopment potential of the district. *Staff comment: The proposal will not alter the character of the area or jeopardize future development. A finding in this regard is recommended below.*
- √ _____ (5) The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site. *Staff comment: See the analysis herein. A finding in this regard is recommended below.*
- √ _____ (6) Any significant adverse impacts (including but not limited to hours of operation, traffic generation, lighting, noise, odor, dust and other external impacts) anticipated to result from the conditional use will be mitigated or offset to the maximum extent practicable. *Staff comment: Notice to surrounding property owners and agency referrals have not identified any issues. The proposed development is similar to other developed parcels in the Valley View Business Park in intensity of use, type of use, and scale of development.*
- √ _____ (7) Facilities and services (including sewage and waste disposal, water, gas, electricity, police and fire protection and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service for existing development. *Staff comment: A referral was made to local agencies. Availability of services are adequate.*
- (8) Adequate assurances of continuing maintenance have been

- | | |
|----------------------------|--|
| <p><u>√</u> _____</p> | <p>provided. <i>Staff comment: See the analysis herein. A finding in this regard is recommended below.</i></p> |
| <p><u>√</u> _____</p> | <p>(9) The proposed conditional use meets all the applicable standards in Chapter 7.24 Development Standards. <i>Staff comment: See the analysis herein. A finding in this regard is recommended below.</i></p> |
| <p><u>√</u> _____</p> | <p>(d) Authority to Impose Conditions on Permit. The Council may approve conditional use permit that have the following conditions or limitations: The conditional use may be revocable; may be granted for a limited time period; or may be granted subject to conditions as the Council may determine appropriate to mitigate adverse impacts, promote compatibility with surrounding uses, or otherwise necessary to meet the review criteria. Conditions may include, but shall not be limited to: requiring special setbacks, open spaces, fences or walls, landscaping or screening, street dedication and improvement, regulation of vehicular access and parking, signs, illumination, hours and methods of operation, control of potential nuisances, prescription of standards for maintenance of buildings and grounds, and prescription of development schedules. <i>Staff comment: Conditions of approval are recommended below.</i></p> |

Chapter 7.20 – Zone Districts and Official Zoning Map

Section 7.20.120 – Light Industrial (I-1) Zone District

	Complies		
	Yes	No	Section Standards
<p><u>√</u> _____</p>			<p>(a) Intent. I-1 Light Industrial District. It is the intent of this district to provide locations for a variety of workplaces including light industrial uses, research and development offices and institutions and complementary secondary uses. Additionally, this district is intended to encourage the development of planned office and business parks and to promote excellence in the design and construction of buildings, outdoor spaces, transportation facilities and streetscapes.</p>
<p><u>√</u> _____</p>			<p>(-) Conditional uses. Permitted conditional uses in the I-1 Zone District shall be as follows: 1. Dwellings, Mixed Use. <i>Staff comment: The scope of uses under this proposal conform</i></p>

to these conditionally permitted uses.

Chapter 7.24 – Development Standards

Section 7.24.020 – Dimensional and Setback Standards

Complies		Section	Standards
Yes	No		
<u> √ </u>	<u> </u>	(-)	Dimensional Standards Table 7.24-1. I-1 – Light Industrial Zone District. Minimum structure setbacks: 20’ from front property line, 15’ from side property line, and 20’ from rear property line. Maximum structure height: 35’. <i>Staff comment: The applicant’s site plan and elevations indicate that all setbacks and height standards are met.</i>

Section 7.24.080 – Access Standards

Complies		Section	Standards
Yes	No		
<u> √ </u>	<u> </u>	(-)	Industrial lot access to adjacent street. Driveway access to a local or collector street from a multi-family residential, commercial, business or industrial lot shall be greater than one hundred twenty-five (125) feet from any street intersection as measured from the intersecting right-of-way lines. <i>Staff comment: As the result of the existing subdivision layout and road system, creating a driveway access point that exceeds 125’ from any intersection is physically impossible. The access point proposed has been reviewed and approved by Hayden Public Works.</i>

7.24.100 – Parking

Complies		Section	Standards
Yes	No		
<u> √ </u>	<u> </u>	(B)	General Provisions. In all zone districts, off-street parking facilities for the storage of motor vehicles for the use of occupants, employees and patrons of the building or structures hereafter erected, altered or extended shall be provided and maintained as herein prescribed.
		(1)	Surface. All parking and driveway areas and primary access to parking facilities shall be surfaced with asphalt, concrete or

similar materials. *Staff comment: The applicant has proposed to pave the access and parking areas in compliance with this standard.*

- _____
6. **Off-Street Parking Design.** Any off-street parking area shall be designed so that vehicles may exit without backing onto a public street unless no other practical alternative is available. Off-street parking areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks or strike against or damage any wall, vegetation, utility or other structure. *Staff comment: The site plan depicts a parking plan that is entirely onsite and will not require vehicles to back out onto the public road. The paved area is adequate for large vehicle circulation and deliveries associated with the mechanical shop.*
- _____
8. **Striping.** All parking areas shall be striped to identify individual parking spaces. *Staff comment: Striping is shown on the site plan. A condition is recommended below that requires the parking area be striped in accordance with this standard.*
- _____
9. **Lighting.** All parking area lighting shall be full cutoff type fixtures. Any light used to illuminate parking areas or for any other purpose shall be so arranged as to reflect the light away from nearby residential properties, and away from the vision of passing motorists. *Staff comment: Plans show that exterior lighting fixtures mounted at the man doors and balconies. A recommended condition of approval has been included to require downcast and opaquely shielded fixtures.*
- _____
- (c) **Paved off-street parking** shall be provided according to the minimum requirements as specified: Dwelling units: One space per bedroom, to two per unit. Industrial: One space each for max. number of employees onsite and space to accommodate equipment. *Staff comment: There are six (6) outdoor parking spaces and four (4) indoor parking spaces identified on the site plan for the overall development. Each live work unit has two dedicated parking spaces and the shop has six dedicated parking spaces. This standard is met.*
- (e) **Handicap parking spaces.**
- _____
- (4) Number of handicap parking spaces: Total parking spaces in lot: 1-25: 1 space required. *Staff Comment: One (1) accessible*

parking space is provided in proximity to the entrance to the shop.

Section 7.24.160 – Landscape Design

Complies		Section	Standards
Yes	No		
<u> √ </u>	<u> </u>	(3)	<p>Industrial development landscaping standards. Landscape improvements within the I-1 and I-2 districts shall be designed to enhance the overall appearance of the development and to integrate the project with adjacent land uses and into the surrounding neighborhood. A minimum of fifteen (15) percent of the site (gross) shall be landscaped area. <i>Staff Comment: There site plan indicates that a 15% of the site area will be landscaped. A recommended condition of approval has been added requiring more specific plans.</i></p>

Conditional Use Permit

RECOMMENDATION: Move to recommend approval of the Almaras Ventures shop and live/work units Conditional Use Permit with the following findings of fact and conditions:

Findings of fact:

1. The proposed conditional use is consistent with the Hayden Forward Master Plan and all applicable provisions of this Development Code and applicable state and federal regulations.
2. The proposed conditional use is consistent with the purpose and intent of the I-1: Light Industrial zone district and any applicable use-specific standards in the Development Code.
3. The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics.
4. The proposed conditional use will not substantially alter the basic character of the C: Commercial zone district or jeopardize the development or redevelopment potential of the C: Commercial zone district.
5. The proposed conditional use will result in efficient on- and off-site traffic circulation which will not have significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.
6. Any significant adverse impacts anticipated to result from the conditional use have been or will be mitigated or offset to the maximum extent practicable.
7. Facilities and services are or will be available to serve the subject property while maintaining adequate levels of service for existing development.
8. Adequate assurances of continuing maintenance have been provided.

9. The proposed conditional use meets all the applicable standards in Chapter 7.24 Development Standards.

Subject to the following conditions of approval:

1. The conditional use permit shall be authorized and approved by a resolution approved by the Town Council.
2. The conditional use permit shall be authorized subject to the Site Plan approval conditions of the Almaras Ventures application.

Site Plan

RECOMMENDATION: Move to approve the Almaras Ventures live/work units Site Plan with the following findings of fact and conditions:

Findings of fact:

1. The proposal meets the standards of the Town of Hayden's Development Code, is in general conformance with the intent and purpose of the Hayden Forward Master Plan and preserves the health, safety and welfare of the citizens of the Town of Hayden.

Subject to the following conditions of approval:

1. The effective date of this approval is the date upon which the Planning Commission approves the application. The approval shall expire two (2) years from its effective date, unless application for renewal of the Site Plan approval is approved pursuant to Section 7.16.020, Hayden Development Code (HDC).
2. Site signage is approved in the size and location as presented in the application.
3. All exterior lighting must be downcast and opaquely shielded.
4. A landscape plan in compliance with 7.24.160(c)(3) shall be provided for administrative approval prior to issuance of the full building permit. Landscaping must be installed prior to issuance of a Certificate of Completion.

MANAGER'S RECOMMENDATION/COMMENTS: *I concur with this recommendation.*

Town of Hayden.
P.O. Box 190
178 West Jefferson
Hayden, CO 81639

December 12, 2022

Attn: Tegan Ebbert, (Community Development Director)

Dear Tegan,

Emmanuel Almaras is the owner of Almaras Ventures LLC and Mountain High Mechanical LLC. This is a narrative to accompany the conditional use permit. We met, Emmanuel Almaras and myself, Ellen Slobodnik with the Town of Hayden on August 17, 2022 for our pre-application meeting for a Conditional Use Permit for Lot 34 of the Valley View Business Park. We propose to build a 3,000 SQ.FT. Industrial Shop and two Live Work dwelling units that are attached. The owner intends to rent the units for now.

REVIEW CRITERIA PER. SECTION 7.16.060(b))

1. The proposed conditional use is consistent with the Master Plan and all applicable provisions of the Development Code and applicable state and federal regulations.

Yes, the proposed Conditional Use is consistent with the Master Plan and all applicable provisions of the Development code and state and federal regulations.

2. The proposed conditional use is consistent with the purpose and intent of the zoning district in which it is located and any applicable use-specific standards in the Development Code.

Yes, the proposed Conditional Use is consistent with the purpose and intent of the zoning district which is L-I and any specific standards in the Development code.

3. The proposed conditional use is compatible with adjacent uses in terms of scale, site design and operating characteristics.

Yes, the proposed Conditional Use is compatible with the adjacent uses in terms of scale, site design and operating characteristics. The use is Industrial and Residential mixed use. Site design has the building toward the street with parking on the side and rear. The Industrial shop will operate normal business hours.

4. The proposed conditional use will not substantially alter the basic character of the district in which it is in or jeopardize the development potential of the district.

No, the proposed Conditional Use will not substantially alter the basic character of the District in which it is in. The building will blend in with all the other Industrial type buildings, it is proposed to be a metal building with a low-pitched roof and will be broken up by windows and wainscotting.

5. The proposed conditional use will result in efficient on-and off-site traffic circulation which will not have a significant adverse impact on the adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.

Yes, the proposed Conditional use will be an efficient on-and off-site traffic circulation See sheet C-3, and will not have an adverse impact on the adjacent uses or result in Hazardous conditions for pedestrians or vehicles.

6. Any significant adverse impacts (including but not limited to hours of operation, traffic Generation, lighting, noise, odor, dust and other external impacts) anticipated to result From the conditional use will be mitigated or offset to the maximum extent practicable.

Hours of operation will be business hours with light traffic. The lighting will be Downcast lighting, see specs. All work performed will be in interior. Emmanuel Currently works in a live work situation and has not had any complaints.

7. Facilities and services (including sewage and waste disposal, water, gas, electricity, Police and fire protection and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service for existing development.

Yes

8. Adequate assurances of continuing maintenance have been provided.

Yes

9. The proposed conditional use meets all the applicable standards in chapter 7.24 Development Standards.

The lot has frontage that is directly accessible to a street and meets all the dimensional Standards. The lot provides off street parking, loading and landscaping. There is 44' From the centerline of industrial drive to lot 34 access. All parking areas will be striped. All parking lighting shall be cutoff type fixtures. The lot meets all setback requirements. There is an accessible parking space. The development shall have an enclosed dumpster And will hire the local waste management company. The minimum of 15% gross site shall be landscaped per. Section 7.24.160(c)(3) HDC.) Emmanuel is the owner and only employee for now and had planned enough parking spaces For when he hires another employee. There is a loading area for his materials.

If you have any questions or comments, please contact me.

Sincerely,

E. Slobodnik

Ellen Slobodnik. (Yampa Valley Engineering, Inc.)
yvengr@yvengr.com

YVE,
YAMPA VALLEY ENGINEERING, INC.

STRUCTURAL
MECHANICAL
ENGINEERING
DESIGN
DRAFTING
SERVICES

JAMES STEGMAIER, P.E.
1821 KAMAR PLAZA
P.O. BOX 772192
STEAMBOAT SPRINGS, CO
80477
970-870-9229
yvengr@yvengr.com

A WORKSHOP & APARTMENTS FOR:

ALMARAS VENTURES, LLC

461 CAPITAL STREET
HAYDEN, COLORADO

LEGAL DESCRIPTION
LOT 34 VALLEY VIEW BUSINESS PARK
ZONING = I-1

PLANS FOR:

ALMARAS VENTURES, LLC

461 CAPITAL STREET
HAYDEN, COLORADO

JOB NO.: 22-036
DRAWN: ECS
DATE: 12-15-22

REVISIONS		
NO.	DATE	DRAWN

SHEET NUMBER

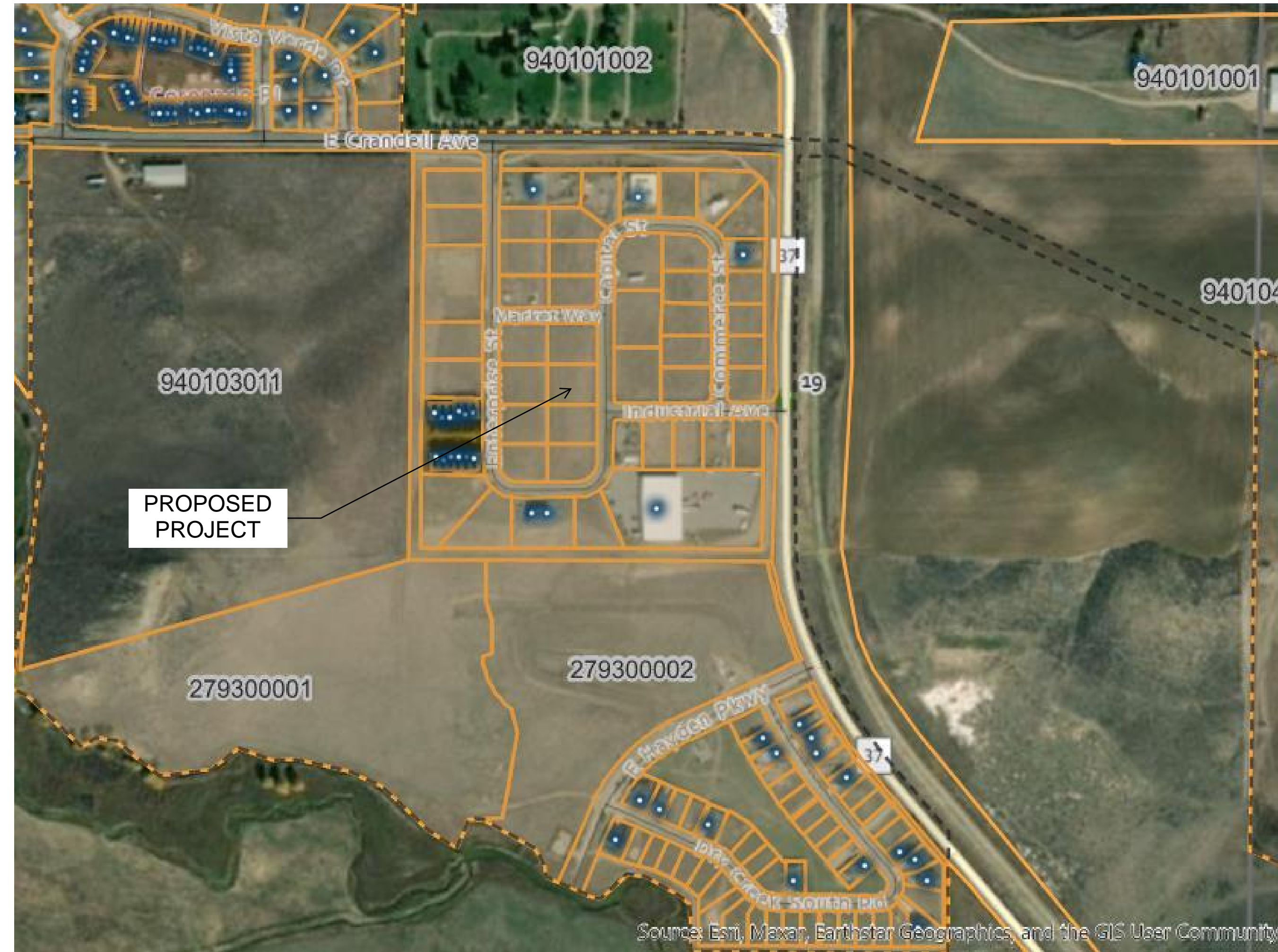
T-1

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, PERMITS AND LAWS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL NEW CONSTRUCTION ON THE SITE
3. THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. IF A DISCREPANCY APPEARS BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS, NOTIFY YAMPA VALLEY ENGINEERING AT ONCE.
4. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDUCT. THE JOB SITE SHALL BE FREE OF DEBRIS AND TRASH. MATERIALS AND EQUIPMENT SHALL BE REASONABLY PLACED. EACH SUB-CONTRACTOR ON COMPLETION OF HIS/HER PHASE OF THE JOB SHALL REMOVE ALL DEBRIS, TRASH AND EQUIPMENT.
5. ALL MATERIALS AND EQUIPMENT ON THE JOB SITE SHALL BE STACKED AND PROTECTED PROPERLY TO PREVENT DAMAGES AND OR DETERIORATION.
6. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. ALL DIMENSIONS ARE TO FACE OF FRAMING AND FACE OF CONCRETE. ALL INTERIOR STUDS ARE TO BE 2X4 UNLESS OTHERWISE NOTED. ALL EXTERIOR STUDS ARE TO BE 2X6 UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL PROVIDE ALL BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES AND ELECTRICAL EQUIPMENT.
8. PROVIDE ALL ACCESS PANELS TO ALL ENCLOSED SPACES, VOIDS AND ATTICS AS REQUIRED BY GOVERNING CODES.

APPLICABLE CODES OF 2021

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2020 NATIONAL ELECTRIC CODE



SHEET INDEX

ARCHITECTURALS

T-1 TITLE SHEET
 A-0 INFO SHEET
 C-1 SITE PLAN
 A-1 PROPOSED ELEVATIONS
 A-2 PROPOSED ELEVATIONS
 A-3 PROPOSED MAIN LEVEL FLOOR PLAN
 A-4 PROPOSED UPPER LEVEL FLOOR PLAN

YVE,
 YAMPA VALLEY ENGINEERING, INC.

**STRUCTURAL
 MECHANICAL
 ENGINEERING
 DESIGN
 DRAFTING
 SERVICES**

JAMES STEGMAIER, P.E.
 1821 KAMAR PLAZA
 P.O. BOX 772182
 STEAMBOAT SPRINGS, CO
 80477
 970-870-9229
 yvengr@yvengr.com



PERSPECTIVE

SYMBOLS

	WINDOW TAG
	DOOR WIDTH (TOP) DOOR WIDTH (BOTTOM)
	SECTION MARK
	DETAIL NUMBER W/ SHEET NUMBER
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	FLOOR DRAIN
	ROOF SLOPE
	TOP OF ELEVATION

LEGEND

	NATIVE SOILS OR STRUCTURAL FILL
	GRANULAR BACKFILL
	POST
	2x4 WALL
	2x6 WALL
	8" CONCRETE WALL
	RIGID INSULATION
	BATT INSULATION

PROJECT DIRECTORY

OWNER
 ALMARAS VENTURES, LLC
 P.O. BOX 772192
 STEAMBOAT SPRINGS, COLORADO

**LICENSED DESIGN PROFESSIONAL &
 STRUCTURAL ENGINEER**
 YAMPA VALLEY ENGINEERING, INC.
 1794 KAMAR PLAZA
 P.O. BOX 772192
 STEAMBOAT SPRINGS, COLORADO 80477
 970-870-9229
 yvengr@yvengr.com

CONTRACTOR
 ALMARAS VENTURES
 EMMANUEL ALMARAS
 970-819-2690

PLANS FOR:
ALMARAS VENTURES, LLC
 461 CAPITAL STREET
 HAYDEN, COLORADO

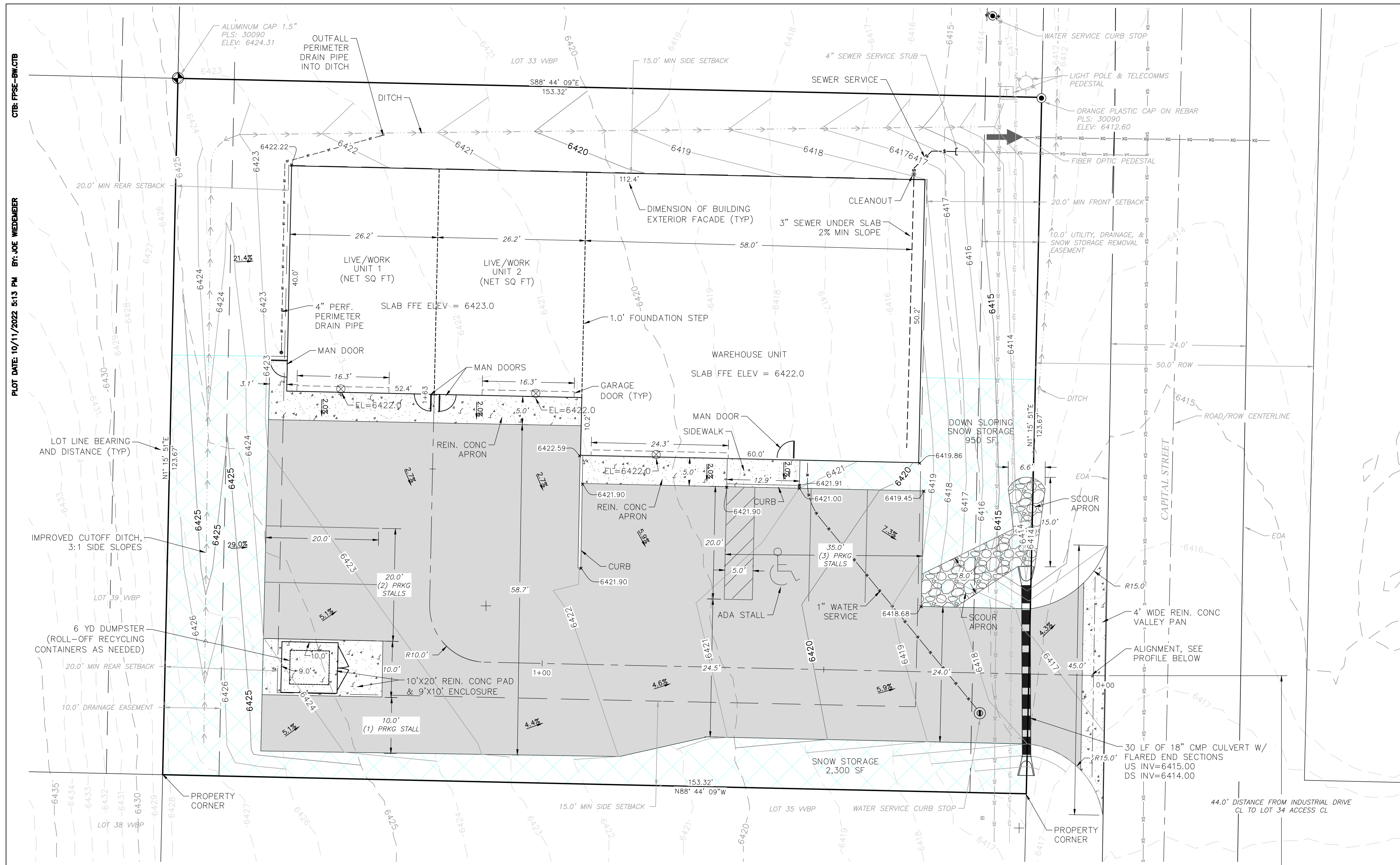
JOB NO.: 22-036
 DRAWN: ECS
 DATE: 12-15-22

REVISIONS

NO.	DATE	DRAWN

SHEET NUMBER

A-0



LEGEND	
[Symbol]	PROPERTY BOUNDARY
[Symbol]	ADJACENT PROPERTY BOUNDARY
[Symbol]	EXISTING EASEMENT
[Symbol]	BUILDING ENVELOPE
[Symbol]	EXISTING 1 FT CONTOUR
[Symbol]	EXISTING 5 FT CONTOUR
[Symbol]	PROPOSED 1 FT CONTOUR
[Symbol]	PROPOSED 5 FT CONTOUR
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED 1" WATER SERVICE LINE
[Symbol]	PROPOSED 4" SEWER SERVICE LINE
[Symbol]	PR ELECTRICAL SERVICE LINE
[Symbol]	PR COMBINED ELEC AND COMMS
[Symbol]	ELECTRICAL & COMMS PEDESTALS
[Symbol]	SPOT GRADE
[Symbol]	PROPOSED TREES & SHRUBS
[Symbol]	PROPOSED BUILDING OUTLINE
[Symbol]	PROPOSED SIDEWALK OUTLINE
[Symbol]	PROPOSED DECK OUTLINE
[Symbol]	PROPOSED CULVERT
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED ASPHALT PAVING
[Symbol]	PROPOSED CONCRETE PAVING
[Symbol]	PROPOSED RIP RAP STABILIZATION
[Symbol]	FLOW ARROW AND SLOPE
[Symbol]	PROPOSED 1" WATER SERVICE LINE
[Symbol]	PROPOSED 4" SEWER SERVICE LINE
[Symbol]	PR ELECTRICAL SERVICE LINE
[Symbol]	PR COMBINED ELEC AND COMMS
[Symbol]	ELECTRICAL & COMMS PEDESTALS
[Symbol]	SPOT GRADE
[Symbol]	PROPOSED TREES & SHRUBS
[Symbol]	PROPOSED BUILDING OUTLINE
[Symbol]	PROPOSED SIDEWALK OUTLINE
[Symbol]	PROPOSED DECK OUTLINE

ANNOTATIONS:

BOW	BOTTOM OF WALL CENTERLINE
CL	COMMUNICATIONS CENTERLINE
CONC	CONCRETE
EL	ELEVATION
ELEC	ELECTRICAL
EOA	EDGE OF ASPHALT
EX	EXISTING
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
LF	LINEAR FEET/FOOT
INV	INVERT
P/A	PARKING AREA
PRKG	PARKING
R	RADIUS
REIN	REINFORCED
ROW	RIGHT OF WAY
PR	PROPOSED
TOW	TOP OF WALL
TYP	TYPICAL

- GENERAL NOTES:**
- LOT 34 AREA = 0.44 ACRES (19,166 SF)
 - OWNERSHIP: ALMARAS VENTURES LLC.
 - ZONING: HAYDEN MUNICIPAL CODE - LIGHT INDUSTRIAL 1
 - BENCHMARKS: SEE NORTHEAST AND NORTHWEST PROPERTY CORNER MONUMENT ON THE SITE PLAN.
 - ALL REFERENCES HERON TO BOOKS, PAGES, FILES, REFERENCES, AND FILE NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY COLORADO.
 - UTILITY LOCATES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED IN THE FIELD. FOUR POINTS SURVEYING AND ENGINEERING SHALL NOT BE RESPONSIBLE FOR UTILITY LOCATES OR THE FAILURE TO NOTE THE LOCATION OF ANY OTHER UNDERGROUND UTILITIES NOT SHOWN ON THIS PLAN.
 - ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 - THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC WITH A MINIMUM OF 4'-FT OF BURY DEPTH AND A MINIMUM SLOPE OF 2%.
 - THE WATER SERVICE LINE SHALL BE 1" COPPER TYPE K AND BE BURIED A MINIMUM OF 7'-FT.

PRELIMINARY EARTHWORK QUANTITIES:

AREA OF DISTURBANCE:	16,000	SQ. FT.
TOPSOIL STRIPPING:	300	CU. YDS.
TOTAL CUT:	465	CU. YDS.
TOTAL FILL:	520	CU. YDS.
NET (FILL):	55	CU. YDS.

- NOTES:**
- TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 1.0 FEET PER THE GEO-TECHNICAL REPORT. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE ENTIRE AREA OF DISTURBANCE.
 - THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
 - A FILL FACTOR OF 1.10 WAS USED FOR CUT-FILL VOLUME CALCULATIONS.
 - FILL VOLUME INCLUDES NATIVE MATERIAL AND ALL IMPORT MATERIALS. (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)

SNOW STORAGE CALCULATIONS:

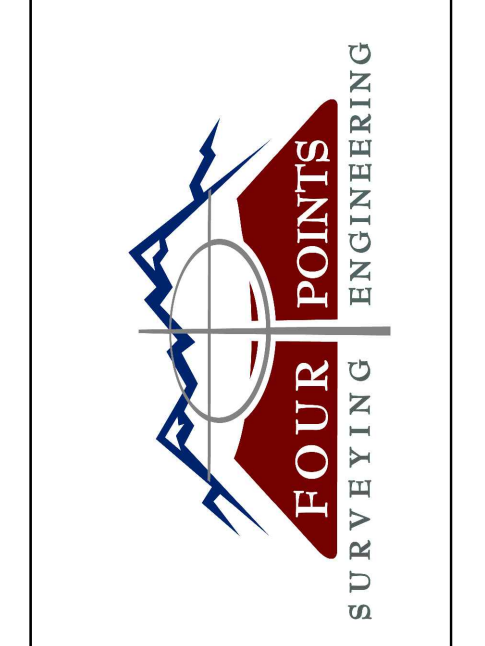
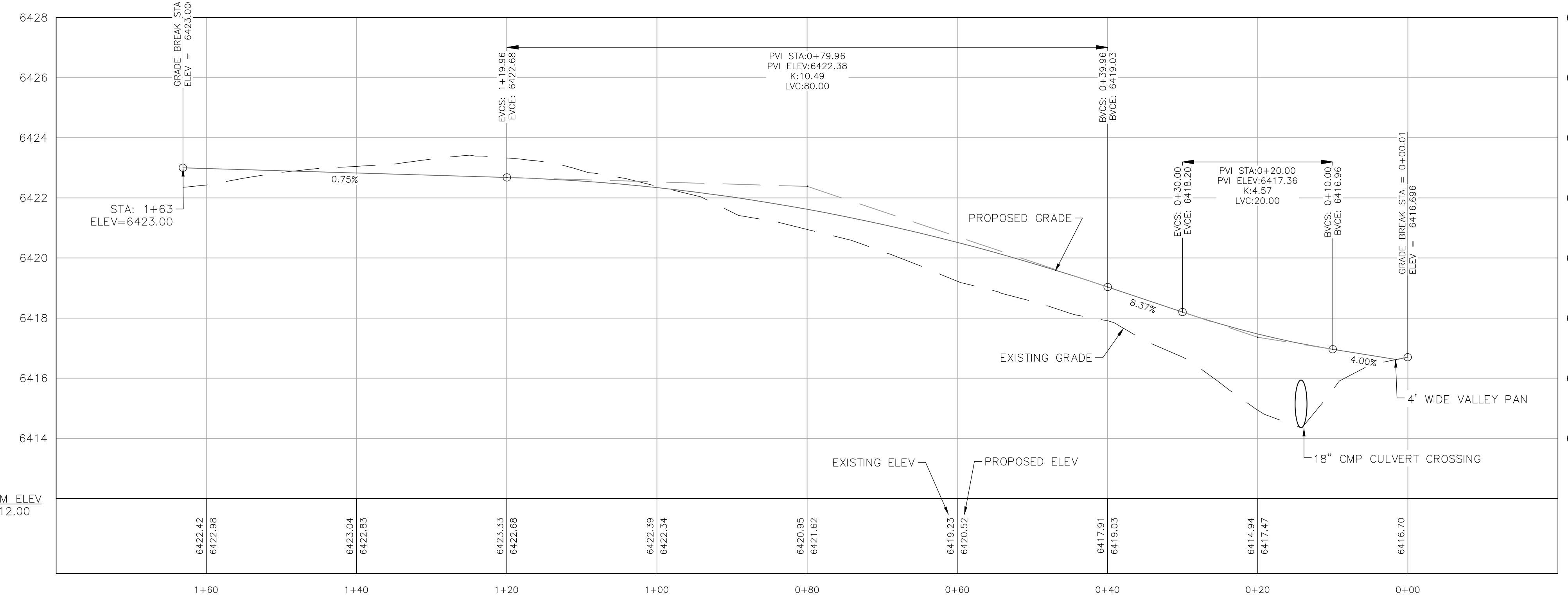
TOTAL PAVED AREA	6,500	SF
SNOW STORAGE PROVIDED	3,250	SF
SNOW STORAGE AREA	[Diagram]	

PARKING STALL CALCULATIONS:

PROPOSED WAREHOUSE/SHOP	3,000	SF
PROPOSED LIVE (2) WORK UNITS	4,000	SF
PARKING STALLS FOR WAREHOUSE/SHOP	4	STALLS
PARKING STALLS FOR LIVE/WORK USE (2 INDOOR AND 2 OUTDOOR)	4	STALLS
TOTAL PARKING STALLS PROVIDED	8	STALLS
*ALL PARKING STALLS SHALL BE 10'X20'		

OPEN SPACE CALCULATION:

GROSS SQ. FOOTAGE OF PARCEL:	19,166	SF
OPEN SPACE AREA:	5,750	SF
OPEN SPACE %:	30%	



440 S. Lincoln Ave, Suite 4A
 P.O. Box 775966
 Steamboat Springs, CO 80487
 (970)-871-6772
 www.fourpointss.com

NO.	DATE	REVISIONS

INDUSTRIAL WAREHOUSE & LIVE WORK
 at
461 CAPITAL STREET
LOT 34 VALLEY VIEW BUSINESS PARK
HAYDEN, COLORADO

HORIZONTAL SCALE
 0 10' 20'
 SCALE: 1" = 10'

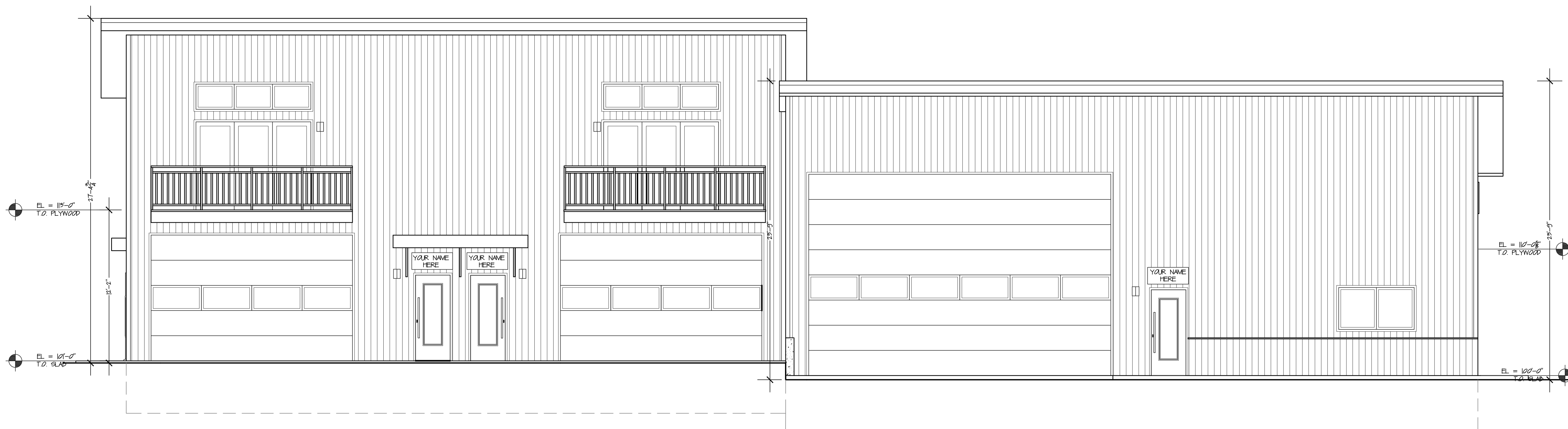
CONTOUR INTERVAL = 1FT
 DATE: 10/11/2022
 JOB #: 1692-013
 DRAWN BY: JLW
 DESIGN BY: JLW
 REVIEW BY: RL

SITE PLAN
 DRAWING:
 SHEET NO.
C1

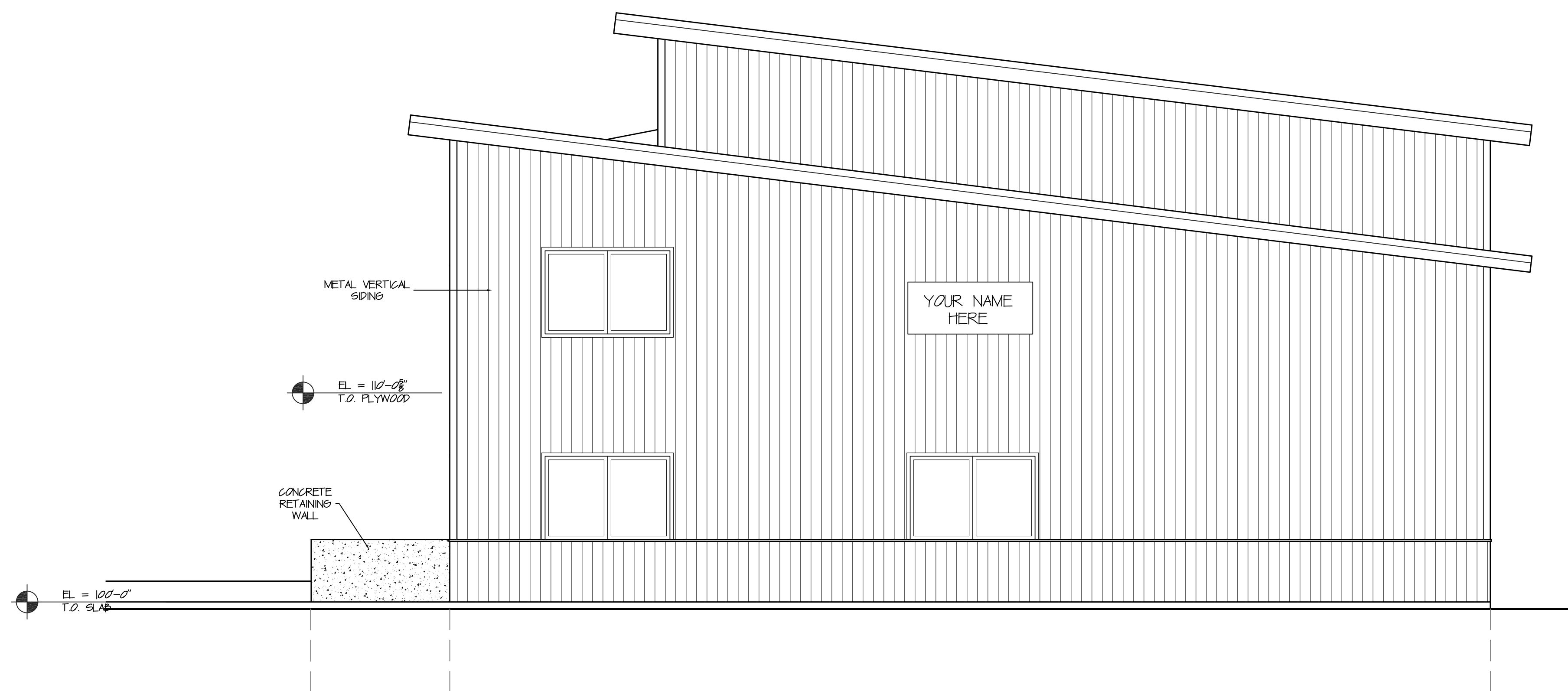


DRAWING FILE: P:\1692-013 LOT 34 VALLEY VIEW BUS PARK\FPSE\1692-013 OVERALL SITE PLAN_2.DWG
 PLOT DATE: 10/11/2022 6:13 PM BY: JOE WIEDEMEIER
 CIB: FPSE-BWCTB

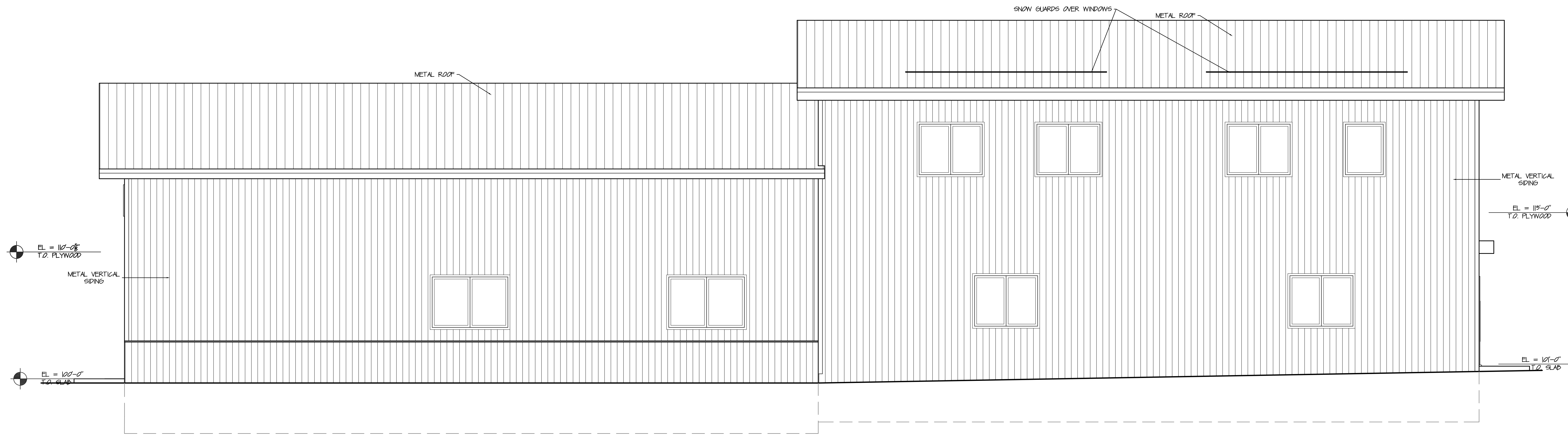
NO.	DATE	DRAWN



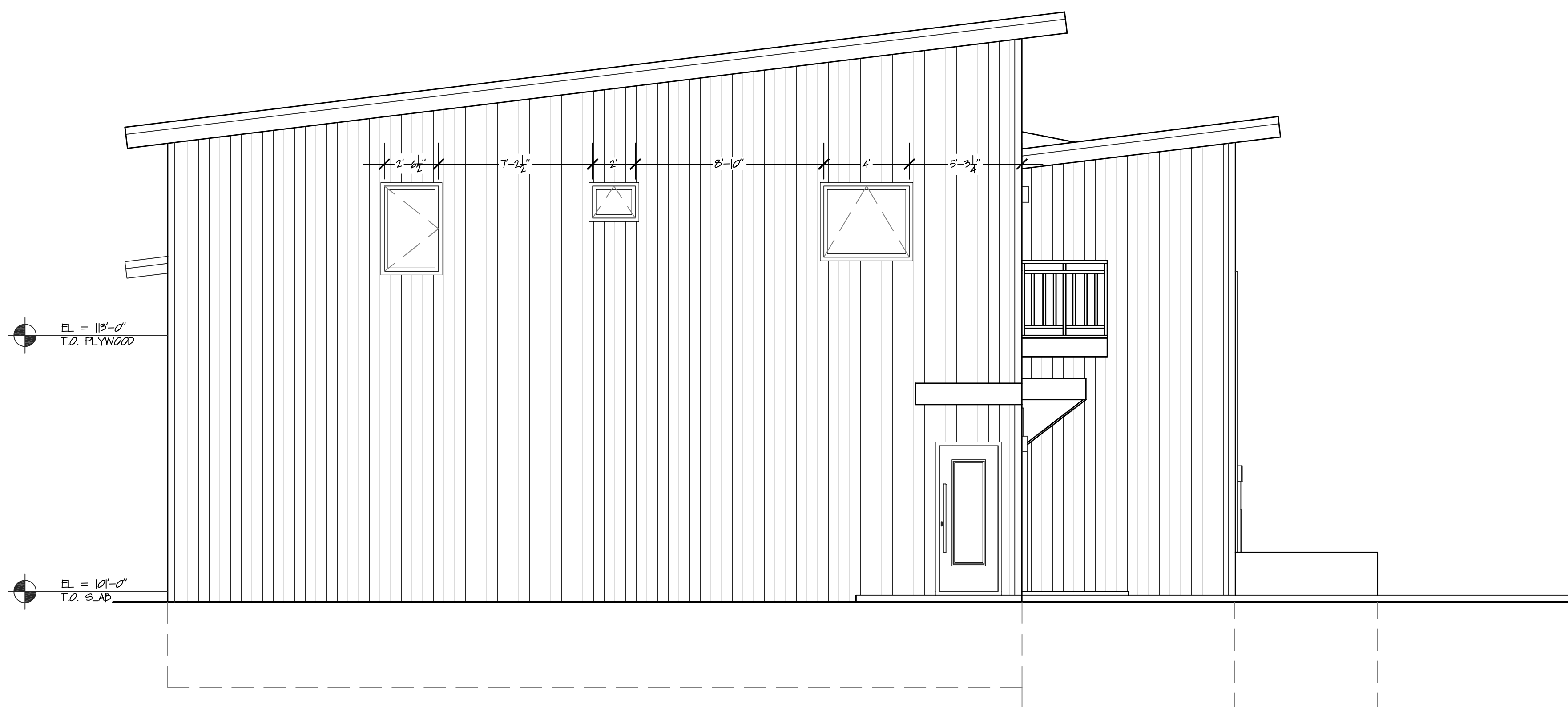
1
A-1 PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"



2
A-1 PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"



1
A-2
PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



2
A-2
PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"

YVE,
YAMPA VALLEY ENGINEERING, INC.

STRUCTURAL
MECHANICAL
ENGINEERING
DESIGN
DRAFTING
SERVICES

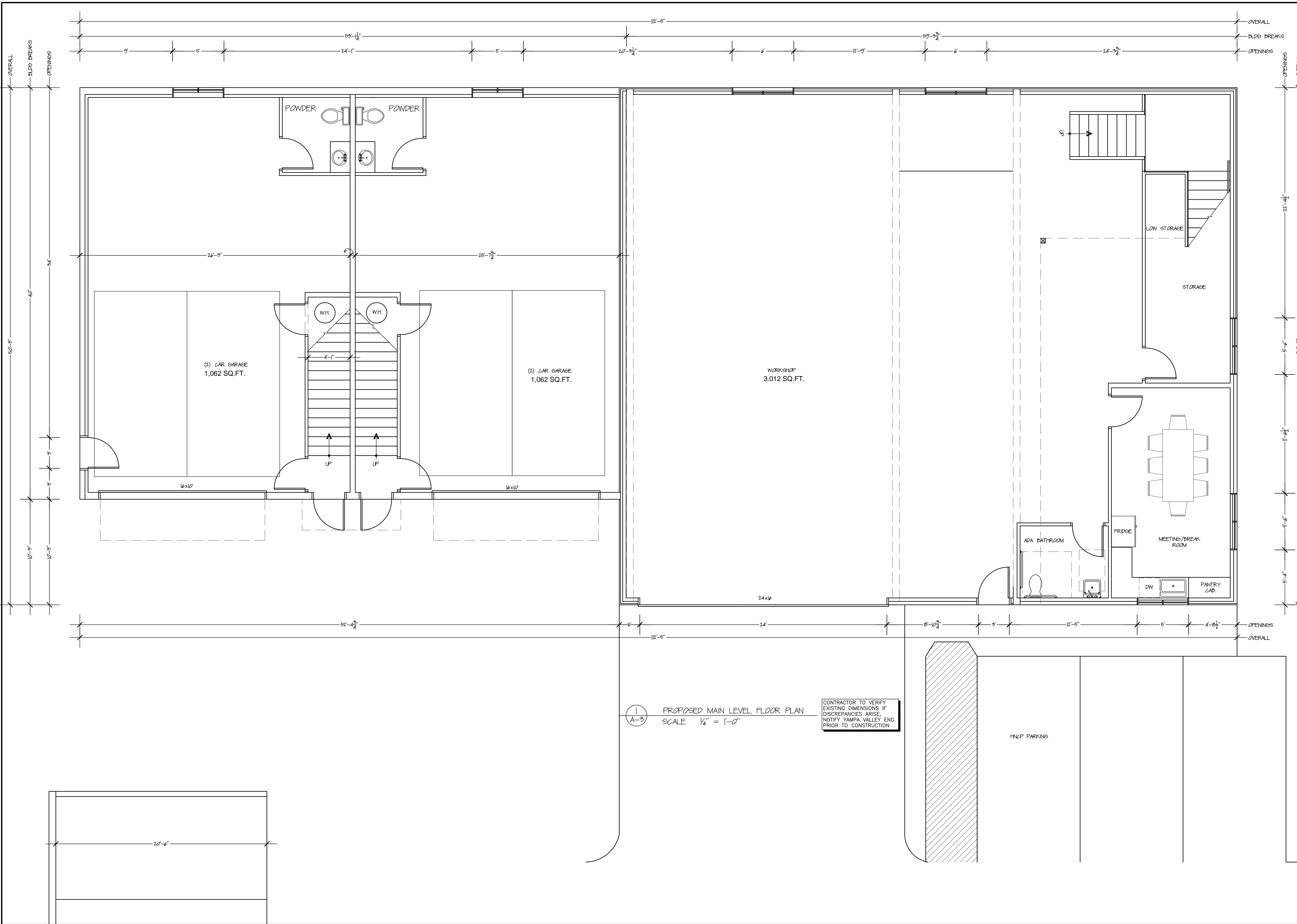
JAMES STEGMAIER, P.E.
1821 KAMAR PLAZA
P.O. BOX 772182
STEAMBOAT SPRINGS, CO
80477
970-870-9229
yvengr@yvengr.com

PLANS FOR:
ALMARAS VENTURES, LLC
461 CAPITAL STREET
HAYDEN, COLORADO

JOB NO.: 22-036
DRAWN: ECS
DATE: 12-15-22

REVISIONS		
NO.	DATE	DRAWN

SHEET NUMBER
A-2



1
A-3
PROPOSED MAIN LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"

CONTRACTOR TO VERIFY EXISTING DIMENSIONS IF DISCREPANCIES ARISE, NOTIFY YAMPA VALLEY ENG. PRIOR TO CONSTRUCTION

YVE,
YAMPA VALLEY ENGINEERING, INC.

STRUCTURAL
MECHANICAL
ENGINEERING
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REVISIONS		
NO.	DATE	DRAWN

SHEET NUMBER
A-3

PLANS FOR:
ALMARAS VENTURES, LLC
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HAYDEN, COLORADO

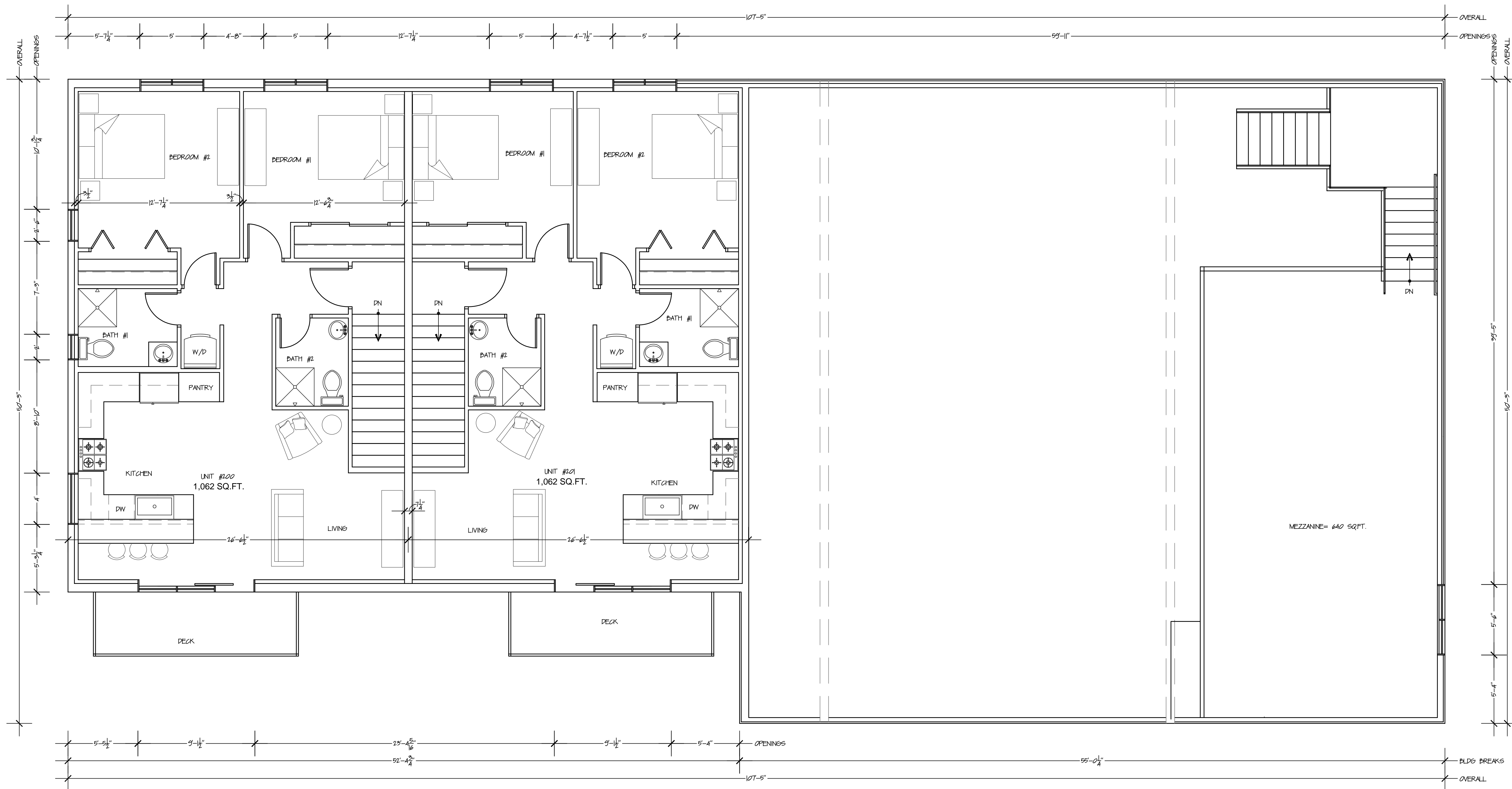
JOB NO: 22-036
DRAWN: ECS
DATE: 12-15-22

REVISIONS

NO.	DATE	DRAWN

SHEET NUMBER

A-4



1
A-4 PROPOSED UPPER LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"

CONTRACTOR TO VERIFY
EXISTING DIMENSIONS IF
DISCREPANCIES ARISE.
NOTIFY YAMPA VALLEY ENG.
PRIOR TO CONSTRUCTION